



DRAWING LIST		
SHEET	DRAWING NAME	REV
0 - GENERAL		
DA-0-001	COVER SHEET	G
DA-0-002	PROJECT SUMMARY	D
1 - SITE		
DA-0-111	SITE PLAN	B
2 - PLANS		
DA-0-209	BASEMENT 2	F
DA-0-210	BASEMENT 1	F
DA-0-211	GROUND FLOOR PLAN	G
DA-0-212	LEVEL 1 FLOOR PLAN	G
DA-0-213	LEVEL 2 FLOOR PLAN	G
DA-0-214	LEVEL 3 FLOOR PLAN	G
DA-0-215	LEVEL 4 FLOOR PLAN	G
DA-0-216	LEVEL 5 FLOOR PLAN	G
DA-0-217	COMMUNAL OPEN SPACE PLAN	F
DA-0-218	ROOF FLOOR PLAN	D
3 - ELEVATIONS		
DA-0-301	NORTH ELEVATION	F
DA-0-302	SOUTH ELEVATION	F
DA-0-303	WEST ELEVATION	F
DA-0-304	EAST ELEVATION	F
4 - SECTIONS		
DA-0-401	SECTION A-A	B
DA-0-411	DRIVEWAY SECTION	B
7 - ADAPTABLE APATMENT		
DA-0-701	ADAPTABLE UNIT- SHEET 1	F
DA-0-702	ADAPTABLE UNIT- SHEET 2	F
DA-0-711	LIVABLE UNITS	B
9 - DIAGRAMS & SCHEDULES		
DA-0-901	GFA DIAGRAMS- SHEET 1	F
DA-0-902	AFFORDABLE UNIT AND CAR SPACE SCHEDULE	A
DA-0-911	SOLAR & CV - SHEET 1	C
DA-0-921	18m HEIGHT PLANE DIAGRAM	F
DA-0-931	DEEP SOIL DIAGRAM	E
DA-0-951	SHADOW ANALYSIS - SHEET 1	C
DA-0-961	VIEWS FROM SUN- SHEET 1	D
DA-0-962	VIEWS FROM SUN- SHEET 2	D
DA-0-963	VIEWS FROM SUN- SHEET 3	D
DA-0-964	VIEWS FROM SUN- SHEET 4	D
DA-0-965	VIEWS FROM SUN- SHEET 5	D

# Moorebank

23-29 Harvey Ave, MOOREBANK

S4.55

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D.R. Design (NSW) Pty. Ltd.  
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Nominated Architects:  
Robert Nigel Dickson  
NSW ARB #5364  
Fergus William Cumming  
NSW ARB #7233  
www.dicksonrothschild.com.au

REV	DESCRIPTION	DATE	ISSUED	CHECKED
A	ISSUE FOR REVIEW	05/11/2021	OP	FC
B	ISSUE FOR CLIENT REVIEW	26/11/2021	OP	FC
C	ISSUE FOR CONSULTANTS	22/12/2021	AY	FC
D	ISSUE FOR CONSULTANTS	21/01/2021	AY	FC
E	ISSUE FOR S4.55	08/02/2022	AY	FC
F	ISSUE FOR RFI	29/08/2022	HS	FC
G	ISSUE FOR RFI	08/06/2023	AY	ND

PROJECT  
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23-29 Harvey Ave, MOOREBANK

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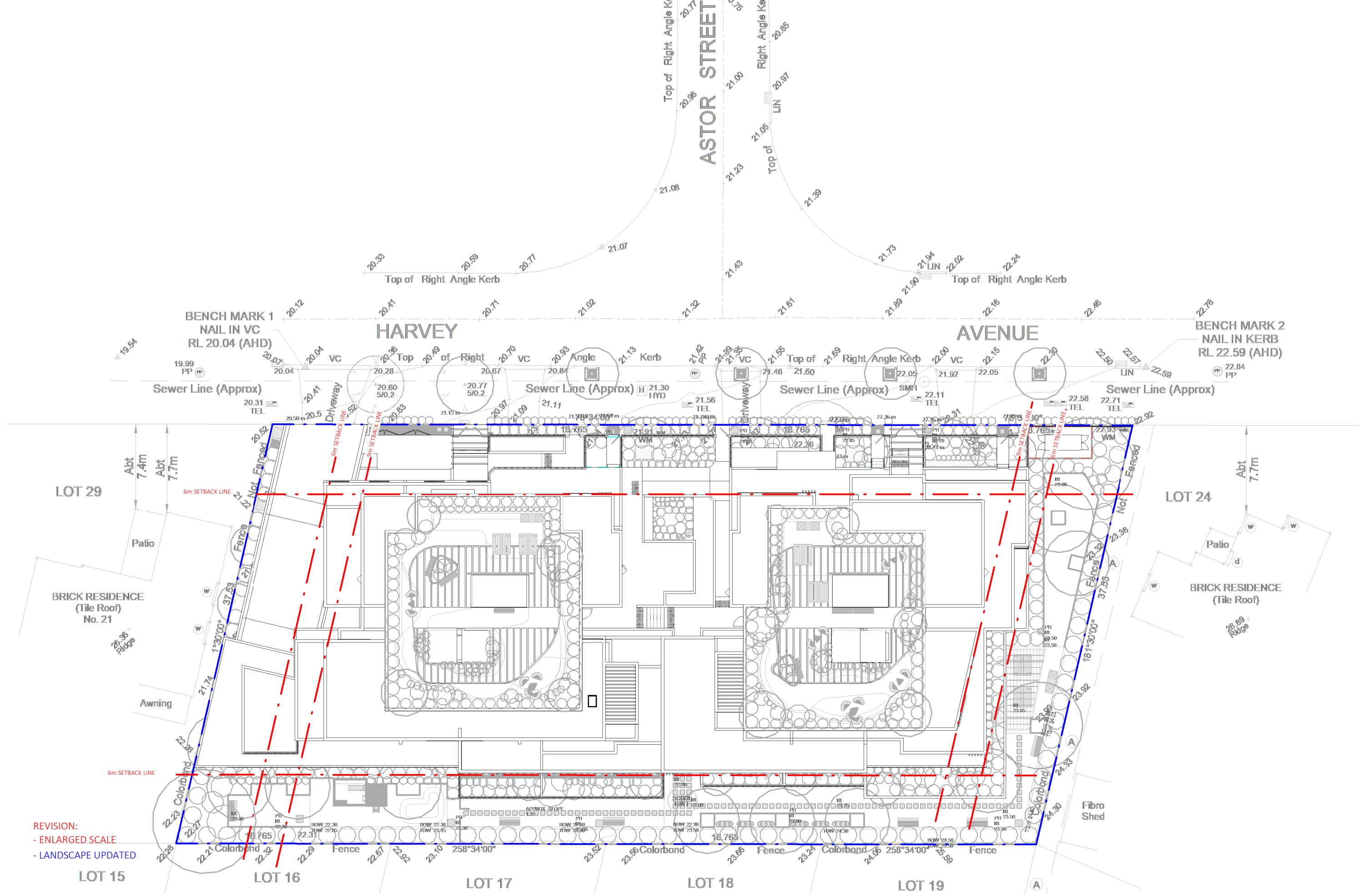
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DRAWING			
COVER SHEET			
PROJECT NO.	DRAWING NO.	REVISION	DATE
21-038	DA-0-001	G	08/06/2023
NOT TO SCALE		DRAWN	AUTHORISED
		AY	FC



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REVISION:  
- ENLARGED SCALE  
- LANDSCAPE UPDATED

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REV	DESCRIPTION	DATE	ISSUED	CHECKED
A	ISSUE FOR S4.55	28/02/2022	HS	FC
B	ISSUE FOR RFI	29/08/2022	HS	FC

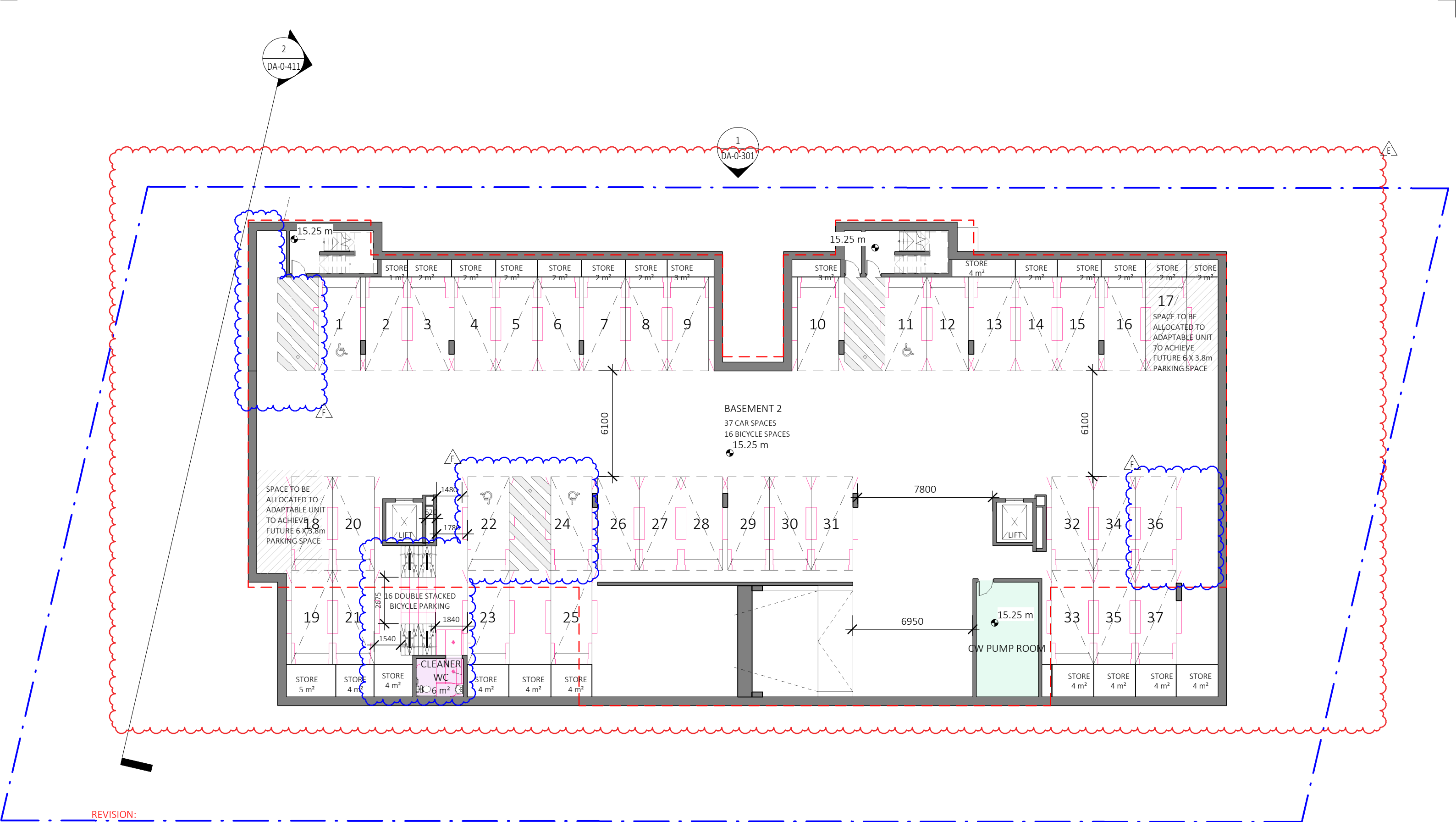
PROJECT  
Moorebank  
  
23-29 Harvey Ave, MOOREBANK  
CLIENT  
UFN GROUP

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DRAWING  
LOT 20  
SITE PLAN

PROJECT NO.	DRAWING NO.	REVISION	DATE
21-038	DA-0-111	B	29/08/2022
SCALE @ A3	DRAWN	AUTHORISED	
1 : 300	Author	FC	





- REVISION:
- ORIGINAL BASEMENT SHOWN DASHED
  - FIRE EGRESS REVISED
  - RAMP GRADIENTS REVISED WITH CHANGE OF BASEMENT LEVELS
  - PARKING LAYOUT REVISED
  - CLEANER WC RELOCATED

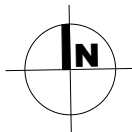
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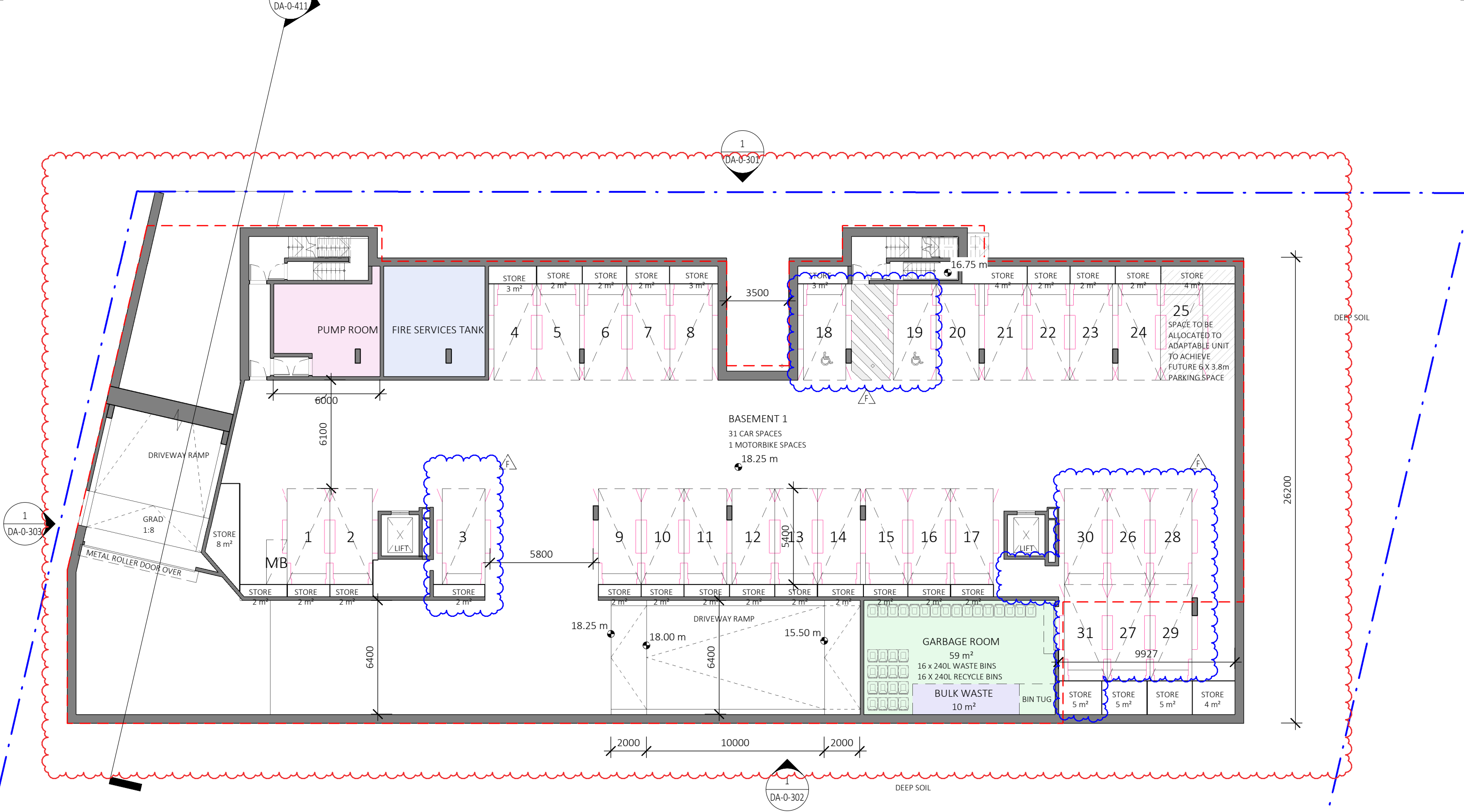
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BASEMENT 2

PROJECT NO.	DRAWING NO.	REVISION	DATE
21-038	DA-0-209	F	29/08/2022

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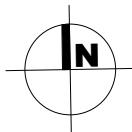
- REVISION:
- ORIGINAL BASEMENT SHOWN DASHED
  - FIRE EGRESS REVISED
  - RAMP GRADIENTS REVISED WITH CHANGE OF BASEMENT LEVELS
  - PARKING LAYOUT REVISED
  - CLEANER WC RELOCATED

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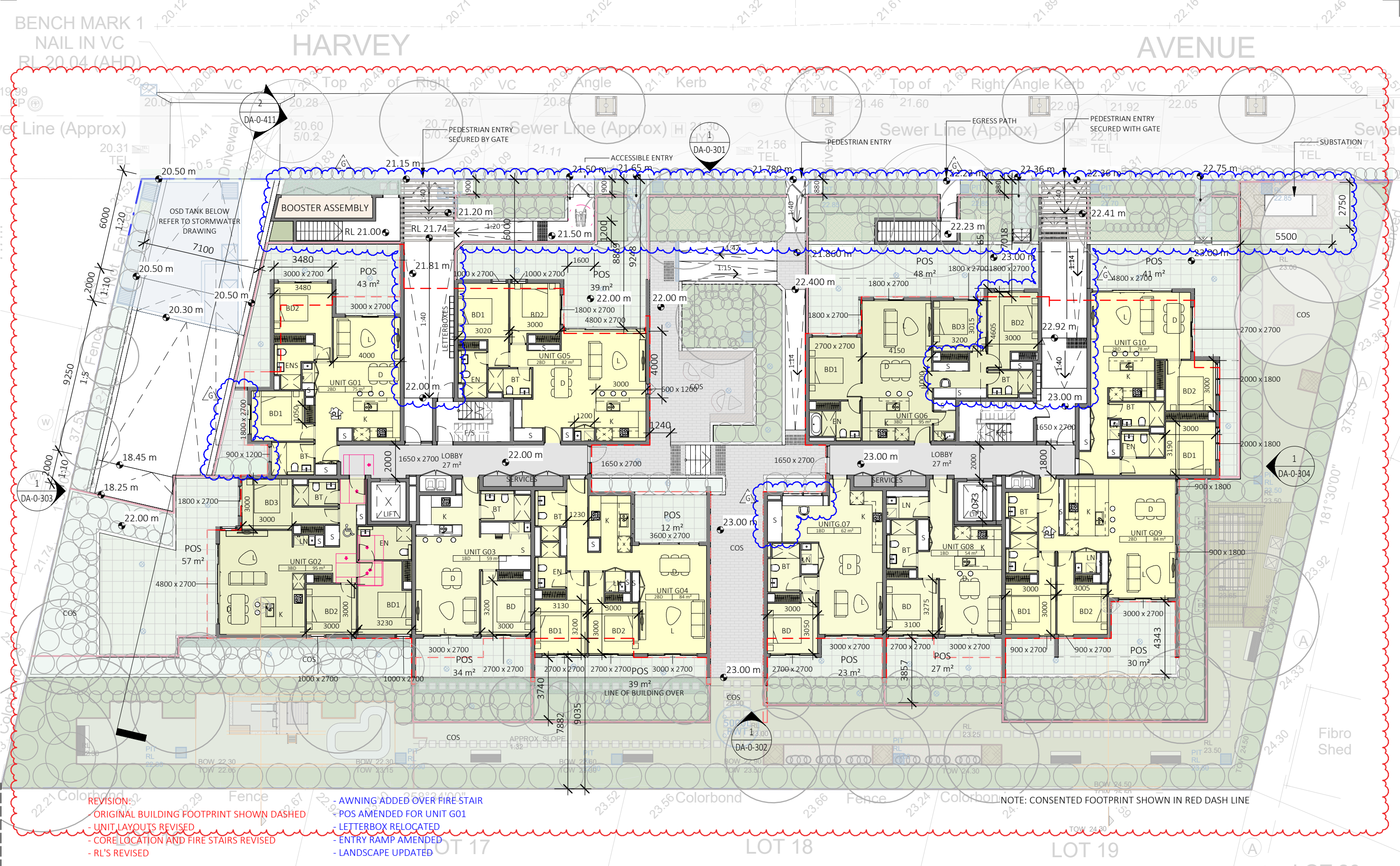
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BASEMENT 1	21-038	DA-0-210	F	29/08/2022
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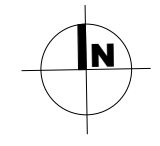
- REVISION:
- ORIGINAL BUILDING FOOTPRINT SHOWN DASHED
  - UNIT LAYOUTS REVISED
  - CORE LOCATION AND FIRE STAIRS REVISED
  - RL'S REVISED
  - AWNING ADDED OVER FIRE STAIR
  - POS AMENDED FOR UNIT G01
  - LETTERBOX RELOCATED
  - ENTRY RAMP AMENDED
  - LANDSCAPE UPDATED

NOTE: CONSENTED FOOTPRINT SHOWN IN RED DASH LINE

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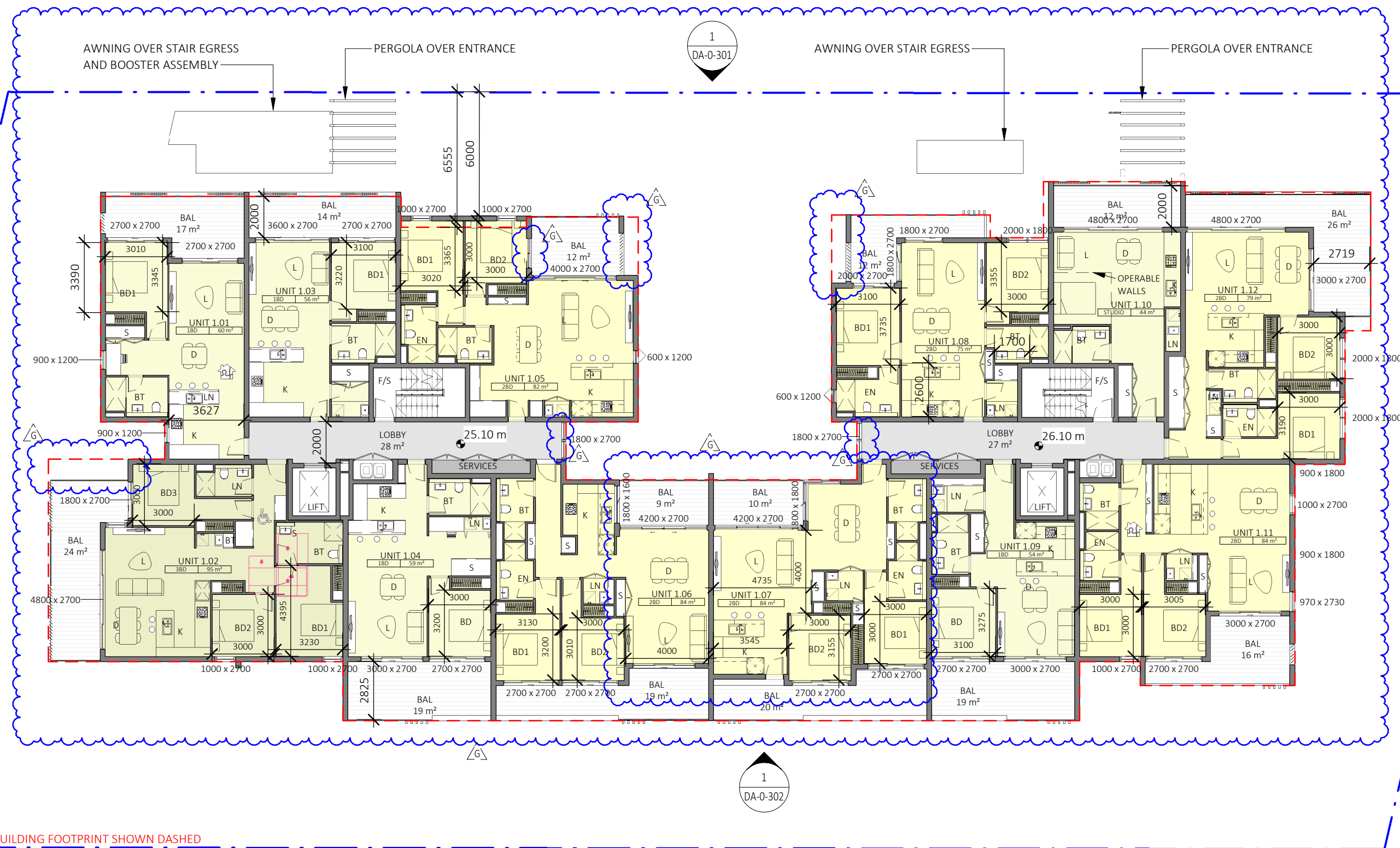


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DRAWING  
GROUND FLOOR PLAN  
PROJECT NO. 21-038  
DRAWING NO. DA-0-211  
REVISION G  
DATE 29/08/2022  
SCALE @ A3 1 : 200  
DRAWN OP  
AUTHORISED FC  
SCALE 1:200 10m



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- REVISION:
- ORIGINAL BUILDING FOOTPRINT SHOWN DASHED
  - CORE LOCATION AND FIRE STAIRS REVISED
  - RL'S REVISED
  - WINDOWS ADDED TO LOBBY
  - DOOR ADDED TO UNIT 1.05 BALCONY
  - ADDED BEDROOM DIMENSIONS
  - UNIT LAYOUTS AND BALCONY REVISED

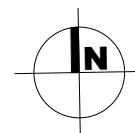
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23-29 Harvey Ave, MOOREBANK  
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DRAWING  
LEVEL 1 FLOOR PLAN

PROJECT NO.	DRAWING NO.	REVISION	DATE
21-038	DA-0-212	G	29/08/2022

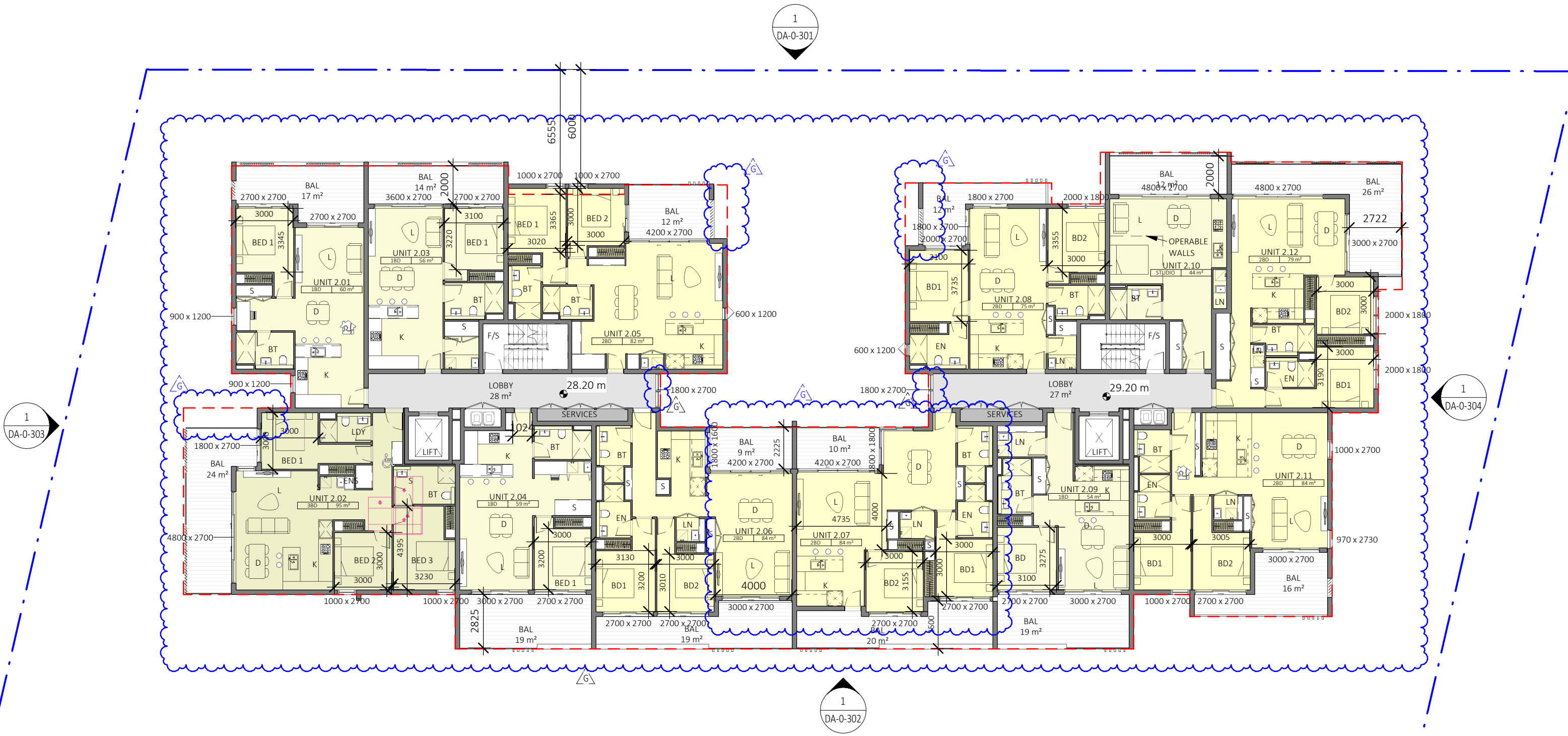
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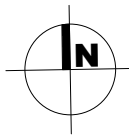
- REVISION:
- ORIGINAL BUILDING FOOTPRINT SHOWN DASHED
  - CORE LOCATION AND RED STAIRS REVISED
  - RL'S REVISED
  - WINDOWS ADDED TO LOBBY
  - ADDED BEDROOM DIMENSIONS
  - UNIT LAYOUTS AND BALCONY REVISED

NOTE: CONSENTED FOOTPRINT SHOWN IN RED DASH LINE

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23-29 Harvey Ave, MOOREBANK  
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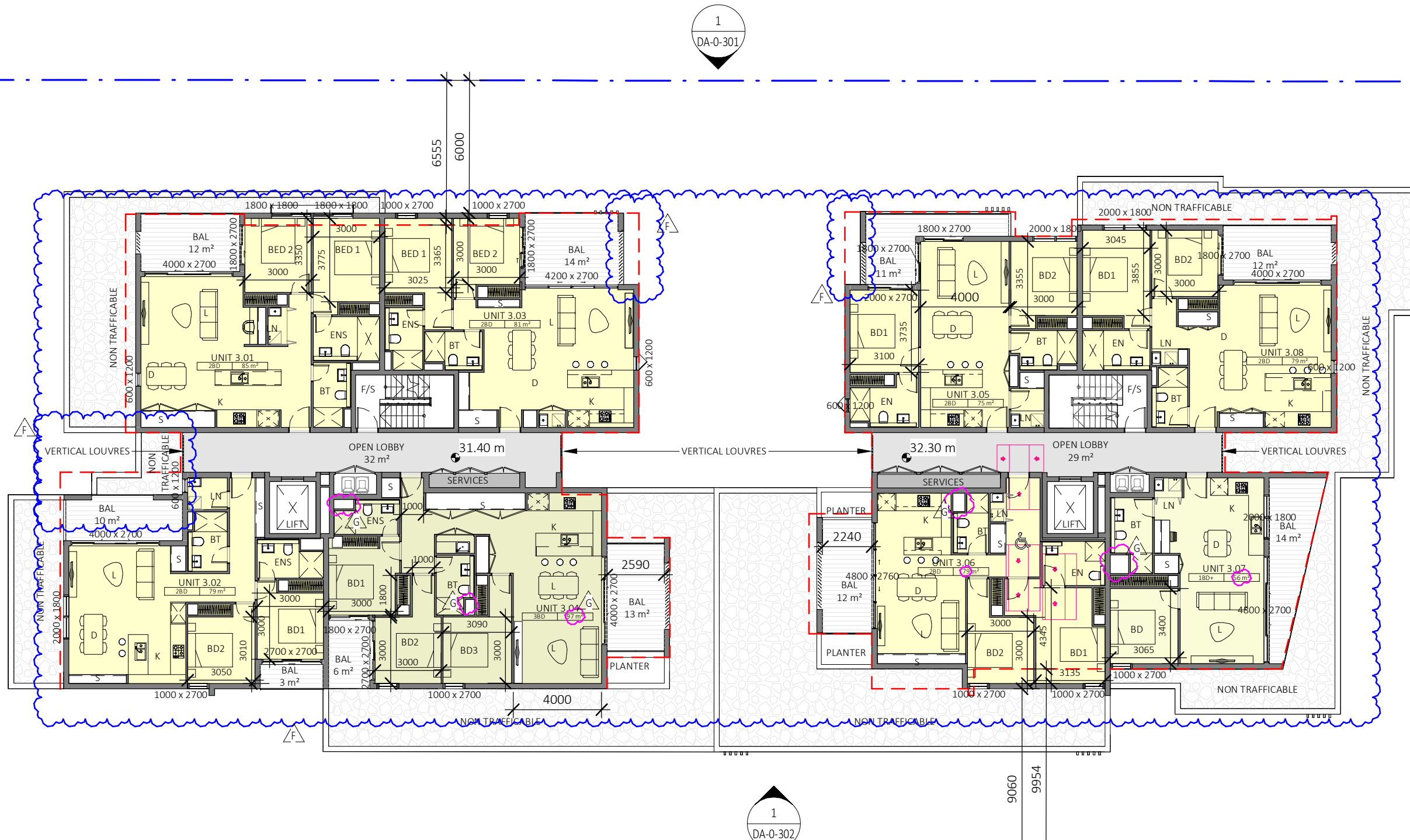
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LEVEL 2 FLOOR PLAN

PROJECT NO. 21-038  
DRAWING NO. DA-0-213  
REVISION G  
DATE 29/08/2022

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AUTHORISED FC

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- REVISION:
- ORIGINAL BUILDING FOOTPRINT SHOWN DASHED
  - UNIT LAYOUTS REVISED
  - CORE LOCATION AND FIRE STAIRS REVISED
  - RL'S REVISED
  - ADDED BEDROOM DIMENSIONS
  - BALCONY REVISED

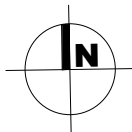
- RISERS AND AREAS ADJUSTED

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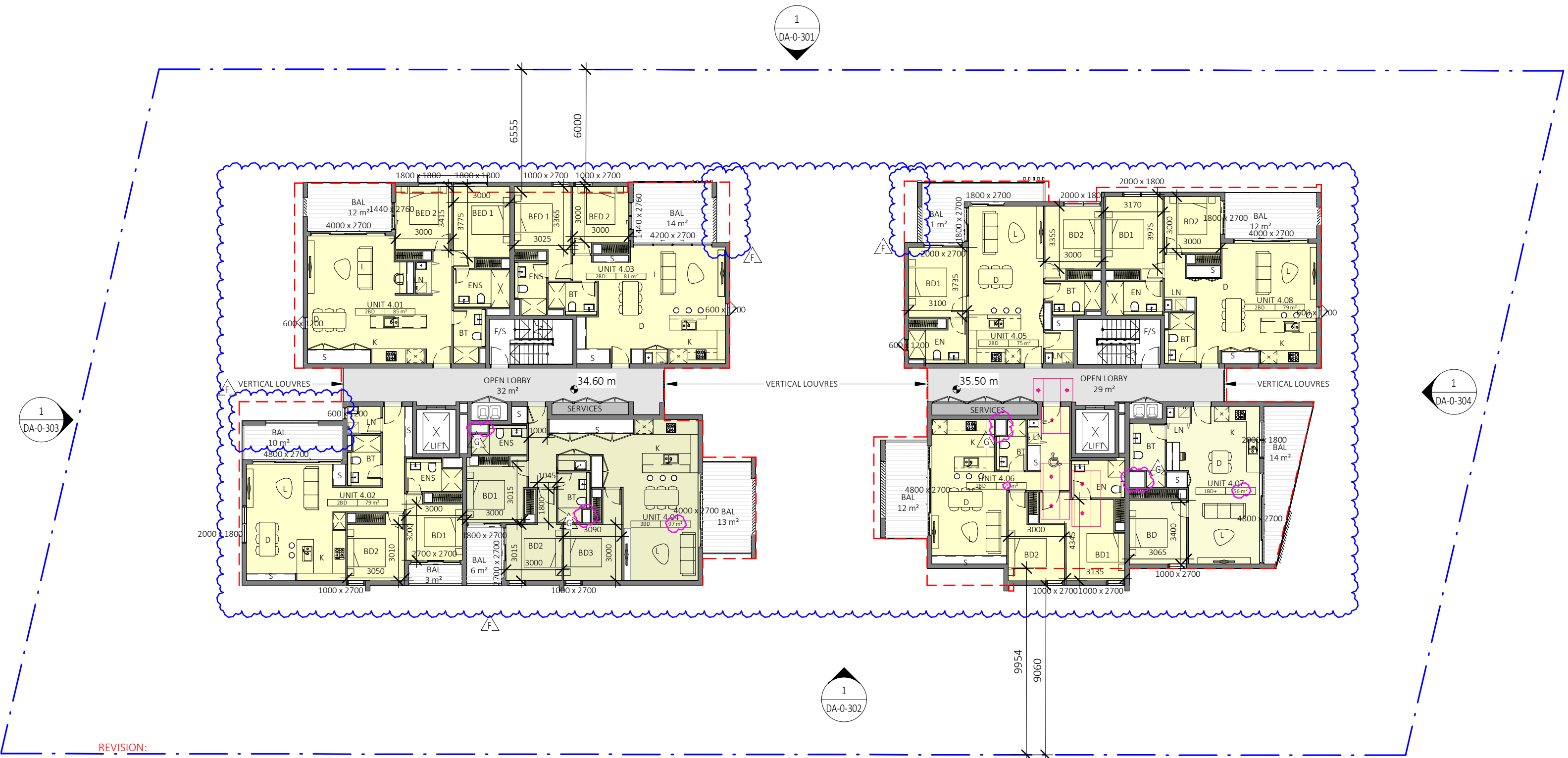
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LEVEL 3 FLOOR PLAN

PROJECT NO.	DRAWING NO.	REVISION	DATE
21-038	DA-0-214	G	08/06/2023
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- REVISION:
- ORIGINAL BUILDING FOOTPRINT SHOWN DASHED
  - UNIT LAYOUTS REVISED
  - CORE LOCATION AND FIRE STAIRS REVISED
  - RL'S REVISED
  - ADDED BEDROOM DIMENSIONS
  - BALCONY REVISED

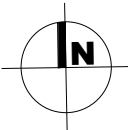
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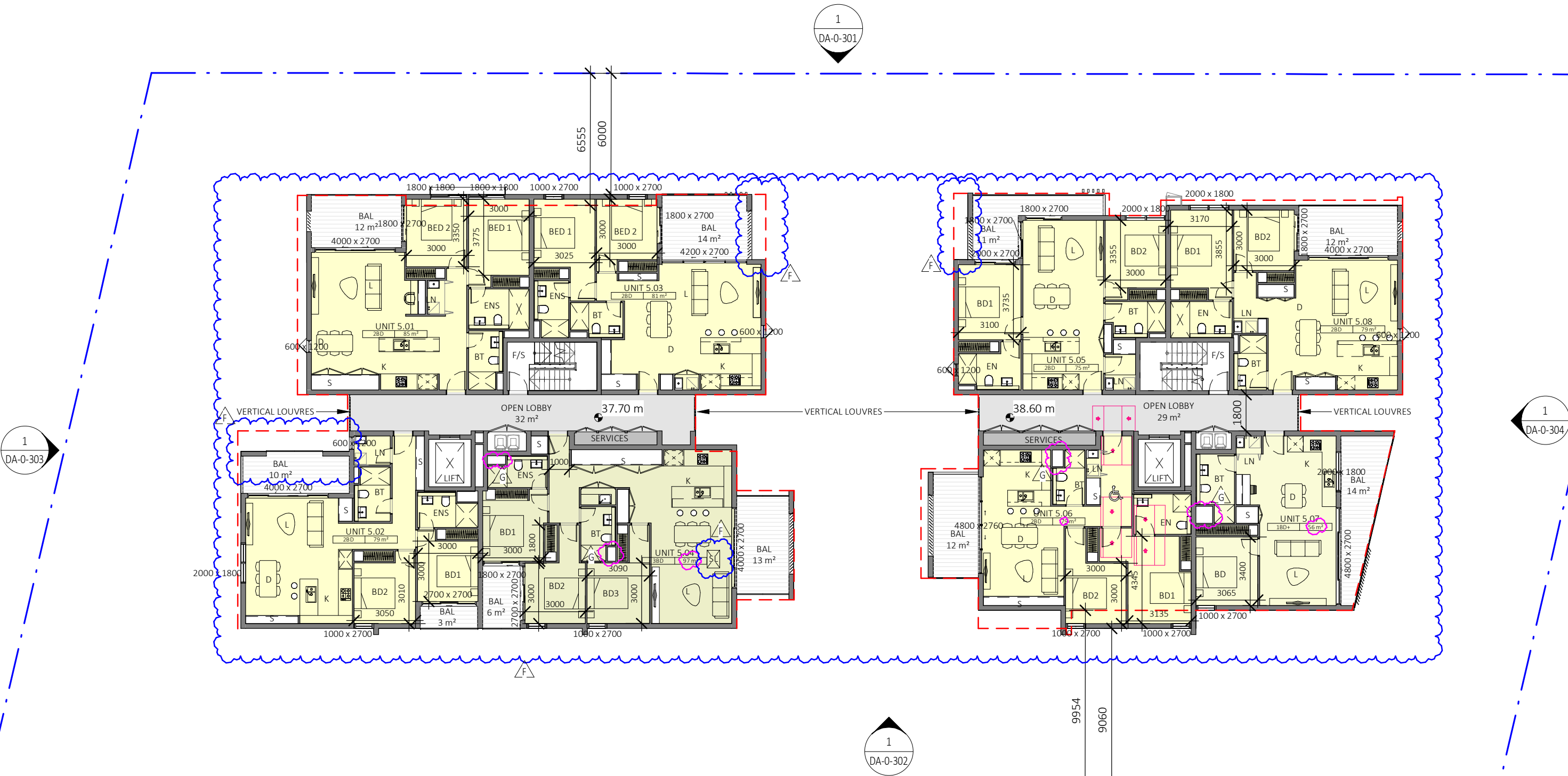
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LEVEL 4 FLOOR PLAN

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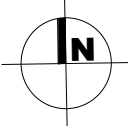
- REVISION:
- ORIGINAL BUILDING FOOTPRINT SHOWN DASHED
  - UNIT LAYOUTS REVISED
  - CORE LOCATION AND FIRE STAIRS REVISED
  - RL'S REVISED
  - ADDED BEDROOM DIMENSIONS
  - ADDED SKYLIGHT TO UNIT 5.04
  - RISERS AND AREAS ADJUSTED
  - BALCONY REVISED

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B	ISSUE FOR CLIENT REVIEW	26/11/2021	OP	FC
C	ISSUE FOR CONSULTANTS	22/12/2021	AY	FC
D	ISSUE FOR CONSULTANTS	21/01/2021	AY	FC
E	ISSUE FOR S4.55	08/02/2022	AY	FC
F	ISSUE FOR RFI	29/08/2022	HS	FC
G	ISSUE FOR RFI	08/06/2023	AY	ND



PROJECT  
Moorebank  
23-29 Harvey Ave, MOOREBANK  
CLIENT  
UFN GROUP

S4.55  
D:\21-038-DA-0-R22-(CEN)-Current\_ayuenAGQ8L.rvt

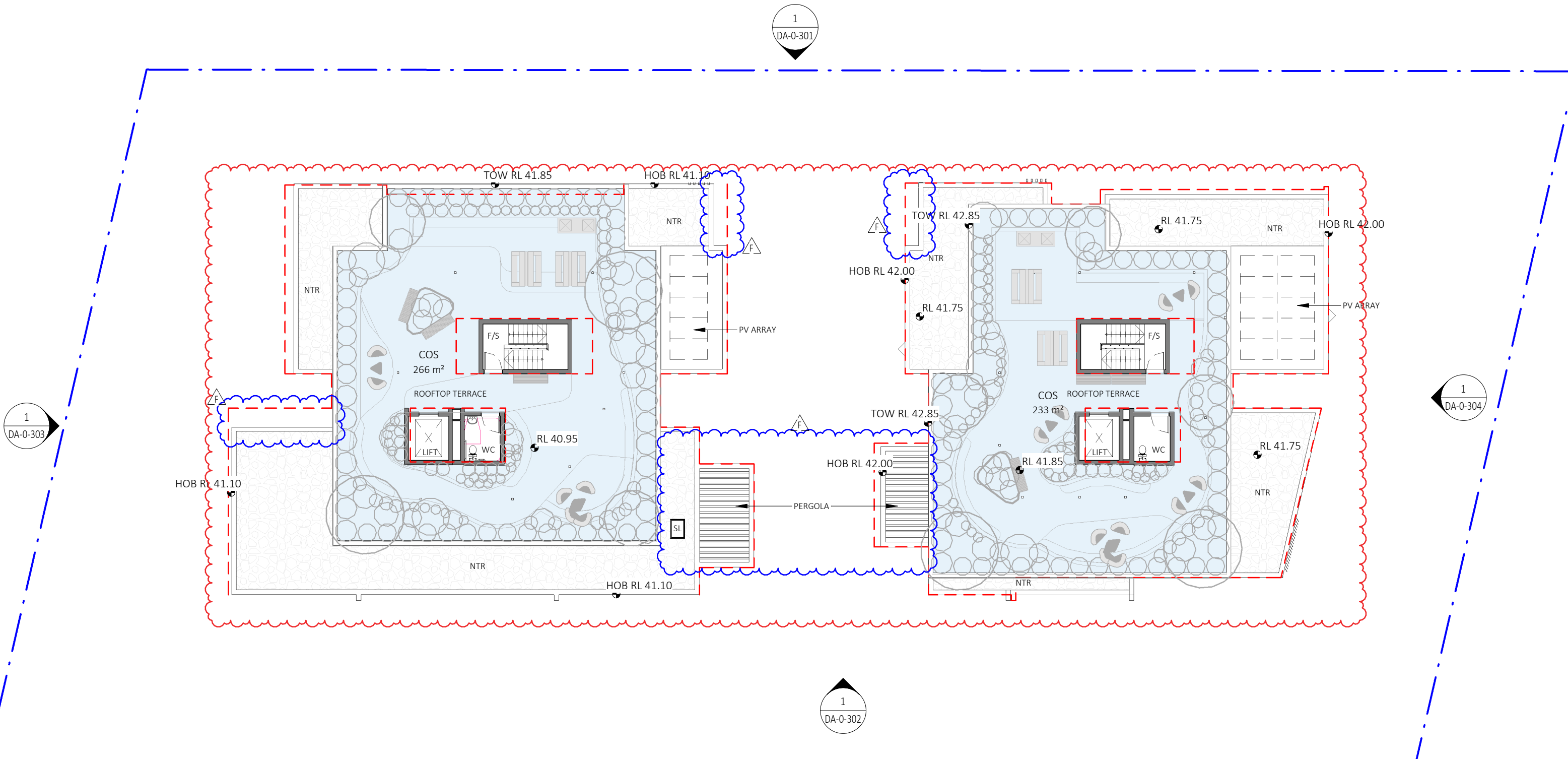
DRAWING  
LEVEL 5 FLOOR PLAN

PROJECT NO.	DRAWING NO.	REVISION	DATE
21-038	DA-0-216	G	08/06/2023
SCALE @ A3	DRAWN	AUTHORISED	
1 : 200	AY	FC	
0	SCALE 1:200	10m	



PRINTED: 8/6/2023 3:00:55 PM





- REVISION:
- ORIGINAL BUILDING FOOTPRINT SHOWN DASHED
  - CORE LOCATION AND FIRE STAIRS REVISED
  - ROOFTOP WC REVISED
  - PV ARRAY LOCATION SHOWN
  - RL'S REVISED
  - ADDED SKYLIGHT TO UNIT 5.04
  - ADDED PERGOLA TO BALCONY
  - LANDSCAPE UPDATED

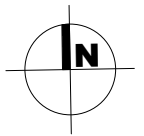
NOTE: CONSENTED FOOTPRINT SHOWN IN RED DASH LINE

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Fergus William Cumming  
NSW ARB #7233

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REV	DESCRIPTION	DATE	ISSUED	CHECKED
A	ISSUE FOR REVIEW	05/11/2021	OP	FC
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D	ISSUE FOR CONSULTANTS	21/01/2021	AY	FC
E	ISSUE FOR S4.55	08/02/2022	AY	FC
F	ISSUE FOR RFI	29/08/2022	HS	FC

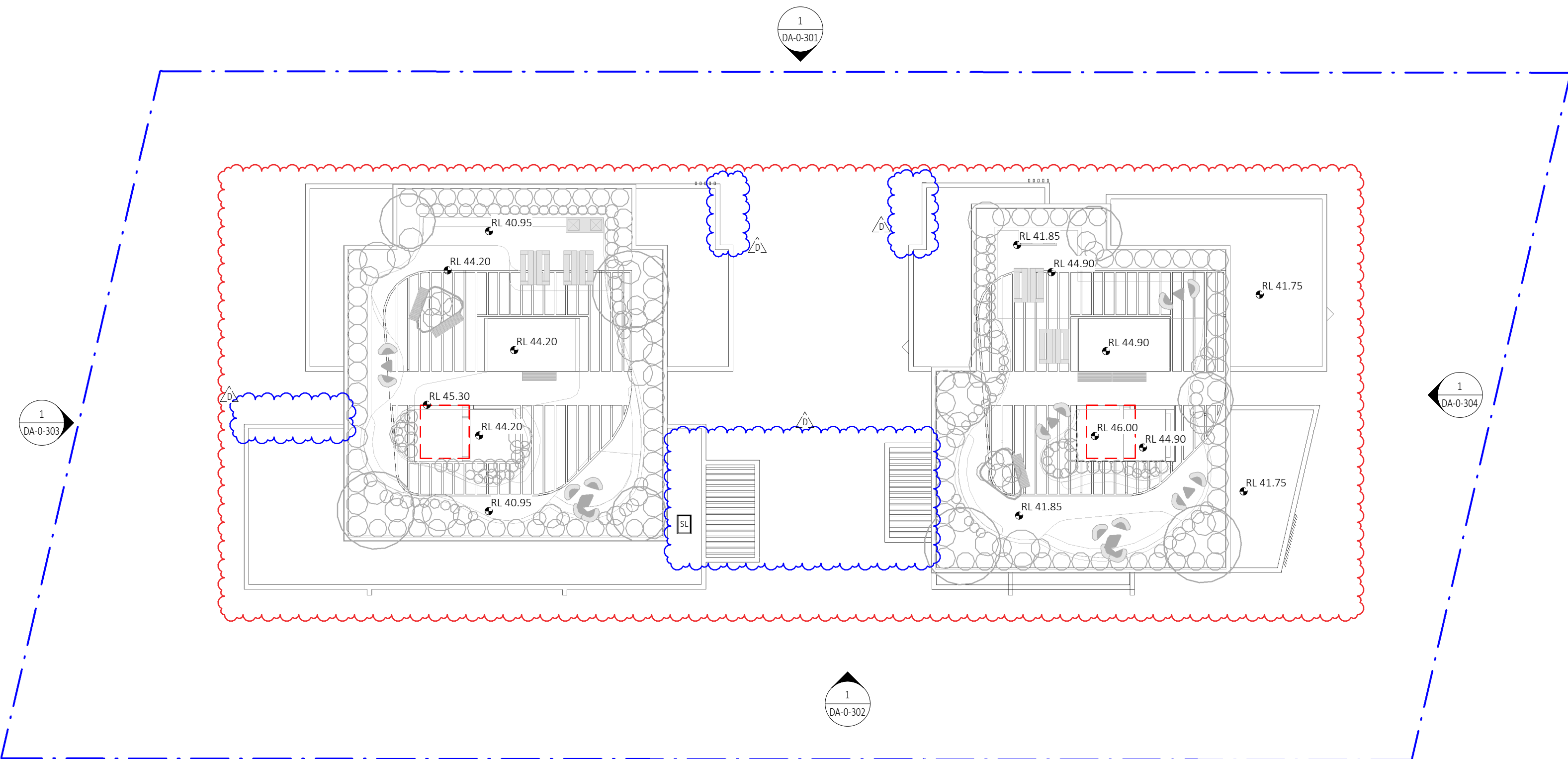


PROJECT  
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23-29 Harvey Ave, MOOREBANK  
CLIENT  
UFN GROUP  
S4.55  
D:\21-038-DA-0-R22-(CEN)-Current\_hshah8369Z.rvt

DRAWING COMMUNAL OPEN SPACE PLAN			
PROJECT NO.	DRAWING NO.	REVISION	DATE
21-038	DA-0-217	F	29/08/2022
SCALE @ A3 1 : 200		DRAWN AY	AUTHORISED FC
0 10m			



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REVISION:  
- ORIGINAL LCOATION SHOWN DASHED  
- RL'S REVISED  
- LANDSCAPE UPDATED

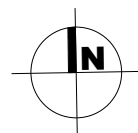
NOTE: CONSENTED FOOTPRINT SHOWN IN RED DASH LINE

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REV	DESCRIPTION	DATE	ISSUED	CHECKED
A	ISSUE FOR CLIENT REVIEW	26/11/2021	OP	FC
B	ISSUE FOR CONSULTANTS	21/01/2021	AY	FC
C	ISSUE FOR S4.55	08/02/2022	AY	FC
D	ISSUE FOR RFI	29/08/2022	HS	FC



PROJECT  
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CLIENT  
UFN GROUP

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D:\21-038-DA-0-R22-(CEN)-Current\_hshah8369Z.rvt

DRAWING  
ROOF FLOOR PLAN

PROJECT NO.	DRAWING NO.	REVISION	DATE
21-038	DA-0-218	D	29/08/2022

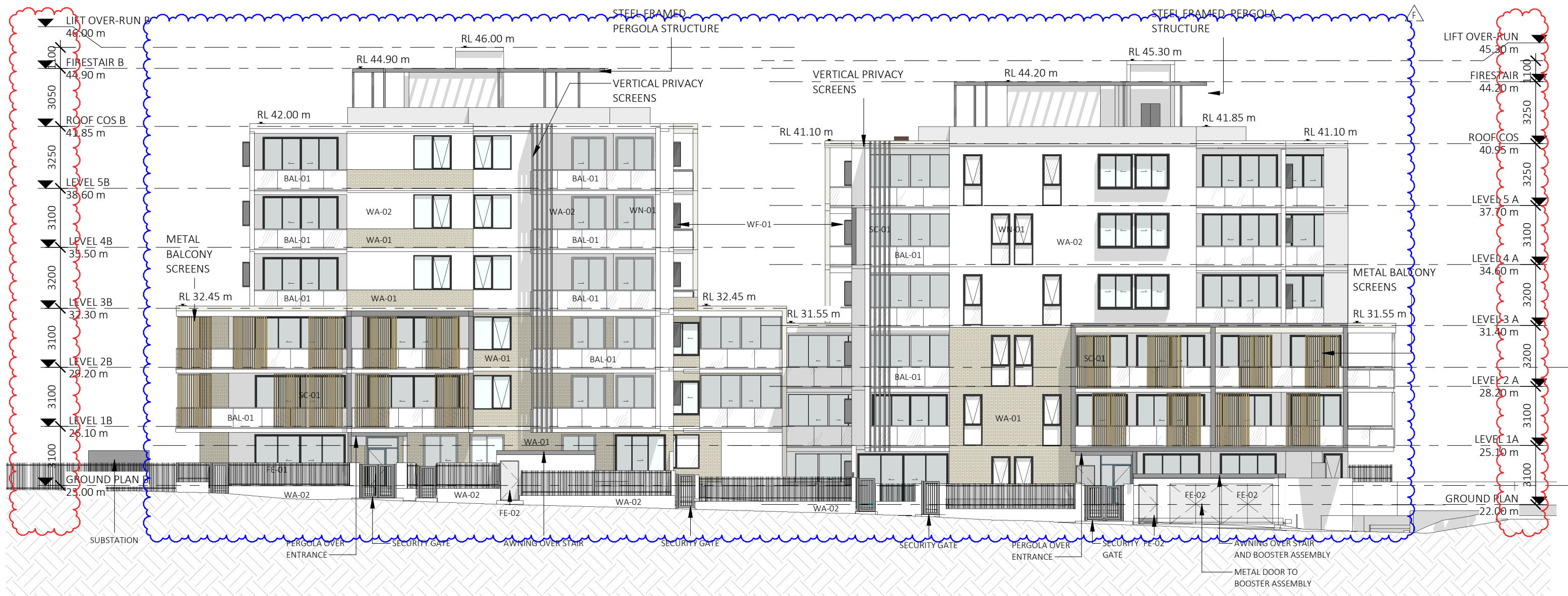
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1 : 200	AY	FC

0 SCALE 1:200 10m



PRINTED: 29/08/2022 3:32:29 PM





REVISION:  
- FLOOR TO FLOOR LEVELS INCREASED FROM 3050 TO AT LEAST 3100  
- MATERIALS AND FENCE REVISED  
- GATE ADDED TO POS

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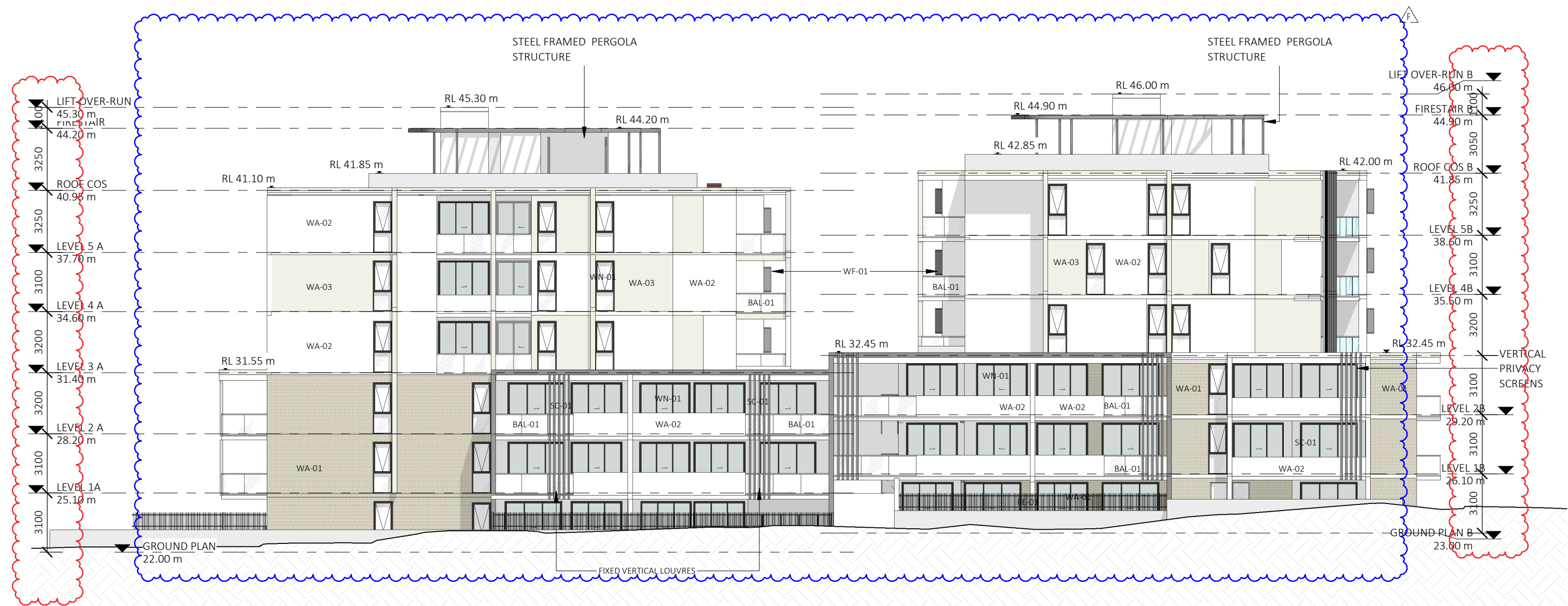
REV	DESCRIPTION	DATE	ISSUED	CHECKED
A	ISSUE FOR REVIEW	05/11/2021	OP	FC
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C	ISSUE FOR CONSULTANTS	22/12/2021	AY	FC
D	ISSUE FOR CONSULTANTS	21/01/2021	AY	FC
E	ISSUE FOR S4.55	08/02/2022	AY	FC
F	ISSUE FOR RFI	29/08/2022	HS	FC

PROJECT  
Moorebank  
23-29 Harvey Ave, MOOREBANK  
CLIENT  
UFN GROUP

S4.55  
D:\21-038-DA-0-R22-(CEN)-Current\_hshah8369Z.rvt

DRAWING			
NORTH ELEVATION			
PROJECT NO.	DRAWING NO.	REVISION	DATE
21-038	DA-0-301	F	29/08/2022
SCALE @ A3		DRAWN	AUTHORISED
1 : 200		OP	FC
0			





REVISION:  
- FLOOR TO FLOOR LEVELS INCREASED FROM 3050 TO AT LEAST 3100  
- MATERIALS REVISED

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B	ISSUE FOR CLIENT REVIEW	26/11/2021	OP	FC
C	ISSUE FOR CONSULTANTS	22/12/2021	AY	FC
D	ISSUE FOR CONSULTANTS	21/01/2021	AY	FC
E	ISSUE FOR S4.55	08/02/2022	AY	FC
F	ISSUE FOR RFI	29/08/2022	HS	FC

PROJECT  
Moorebank  
23-29 Harvey Ave, MOOREBANK  
CLIENT  
UFN GROUP

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DRAWING  
SOUTH ELEVATION

PROJECT NO.	DRAWING NO.	REVISION	DATE
21-038	DA-0-302	F	29/08/2022
SCALE @ A3	DRAWN	AUTHORISED	
1 : 200	OP	FC	



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REVISION:  
- FLOOR TO FLOOR LEVELS INCREASED FROM 3050 TO AT LEAST 3100  
- MATERIALS REVISED

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C	ISSUE FOR CONSULTANTS	22/12/2021	AY	FC
D	ISSUE FOR CONSULTANTS	21/01/2021	AY	FC
E	ISSUE FOR S4.55	08/02/2022	AY	FC
F	ISSUE FOR RFI	29/08/2022	HS	FC

PROJECT  
Moorebank

23-29 Harvey Ave, MOOREBANK

CLIENT  
UFN GROUP

S4.55  
D:\21-038-DA-0-R22-(CEN)-Current\_hshah8369Z.rvt

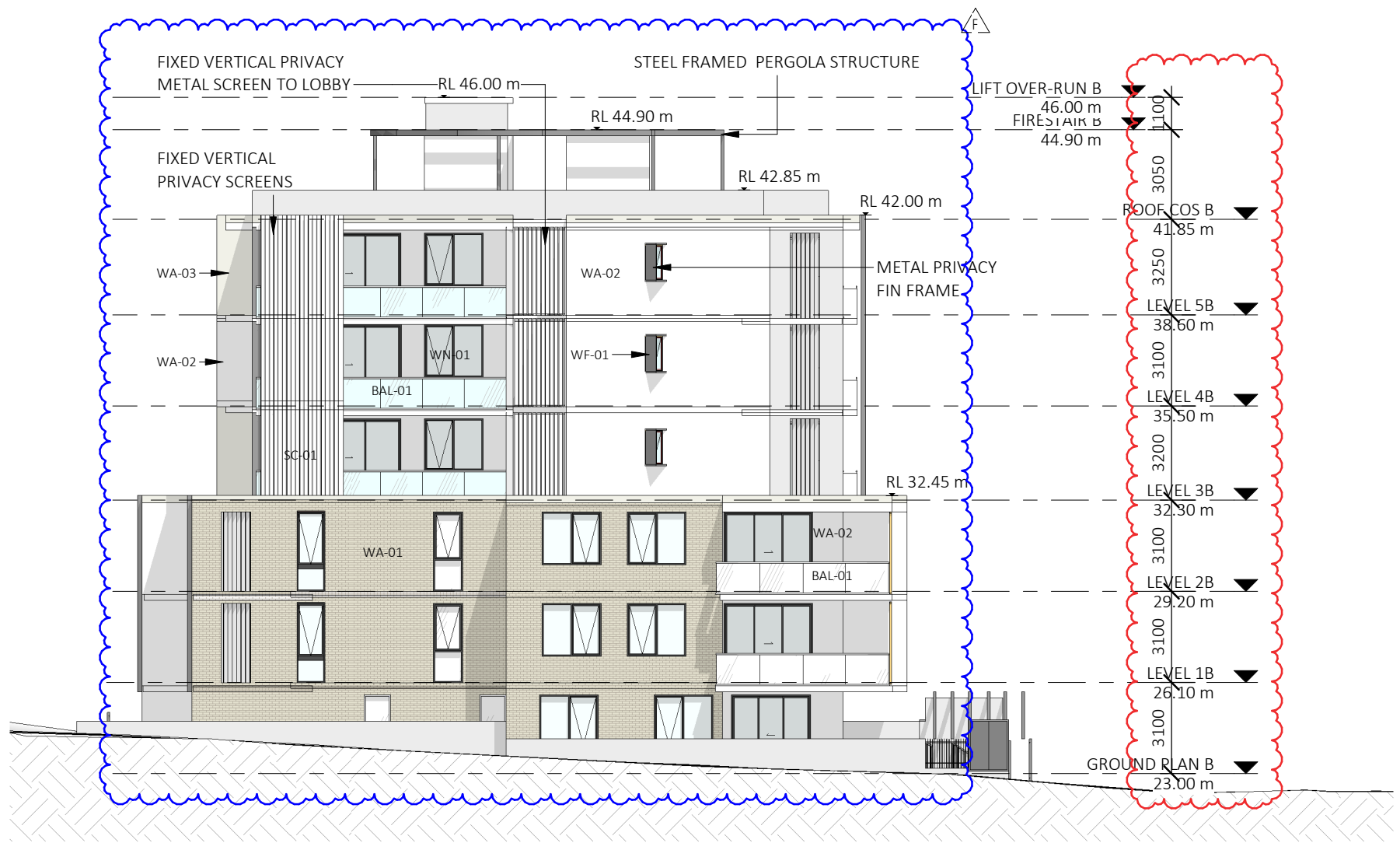
DRAWING  
WEST ELEVATION

PROJECT NO.	DRAWING NO.	REVISION	DATE
21-038	DA-0-303	F	29/08/2022

SCALE @ A3	DRAWN	AUTHORISED
1 : 200	OP	FC

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REVISION:  
- FLOOR TO FLOOR LEVELS INCREASED FROM 3050 TO AT LEAST 3100  
- MATERIALS REVISED

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A	ISSUE FOR REVIEW	05/11/2021	OP	FC
B	ISSUE FOR CLIENT REVIEW	26/11/2021	OP	FC
C	ISSUE FOR CONSULTANTS	22/12/2021	AY	FC
D	ISSUE FOR CONSULTANTS	21/01/2021	AY	FC
E	ISSUE FOR S4.55	08/02/2022	AY	FC
F	ISSUE FOR RFI	29/08/2022	HS	FC

PROJECT  
Moorebank  
23-29 Harvey Ave, MOOREBANK  
CLIENT  
UFN GROUP

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D:\21-038-DA-0-R22-(CEN)-Current\_hshah8369Z.rvt

DRAWING EAST ELEVATION			
PROJECT NO.	DRAWING NO.	REVISION	DATE
21-038	DA-0-304	F	29/08/2022
SCALE @ A3		DRAWN	AUTHORISED
1 : 200		OP	FC



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REVISION:

- FLOOR TO FLOOR LEVELS INCREASED FROM 3050 TO AT LEAST 3100
- ROOM LAYOUTS UPDATED

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REV	DESCRIPTION	DATE	ISSUED	CHECKED
A	ISSUE FOR CONSULTANTS	21/01/2021	AY	FC
B	ISSUE FOR S4.55	08/02/2022	AY	FC

PROJECT

Moorebank

23-29 Harvey Ave, MOOREBANK

CLIENT

UFN GROUP

S4.55

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DRAWING

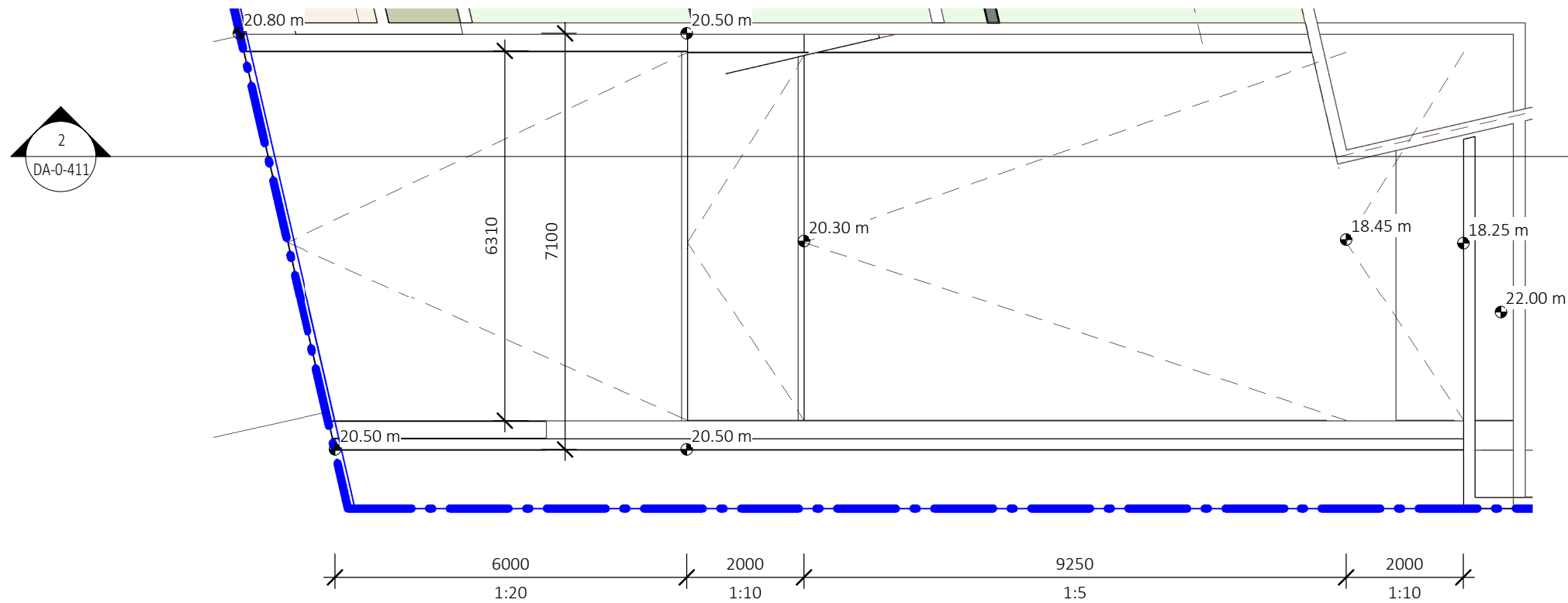
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PROJECT NO.	DRAWING NO.	REVISION	DATE
21-038	DA-0-401	B	08/02/2022

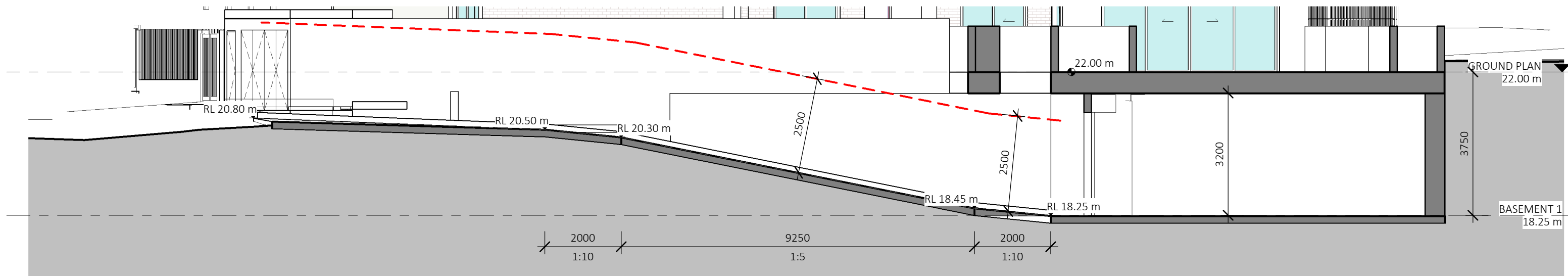
SCALE @ A3	DRAWN	AUTHORISED
1 : 200	AY	FC



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1 DRIVEWAY PLAN  
DA-0-301 1 : 100



2 DRIVEWAY ENTRY  
DA-0-209 1 : 100

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REV	DESCRIPTION	DATE	ISSUED	CHECKED
A	ISSUE FOR CONSULTANTS	21/01/2021	AY	FC
B	ISSUE FOR S4.55	08/02/2022	AY	FC

PROJECT  
Moorebank

23-29 Harvey Ave, MOOREBANK

CLIENT  
UFN GROUP

S4.55

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DRAWING  
DRIVEWAY SECTION

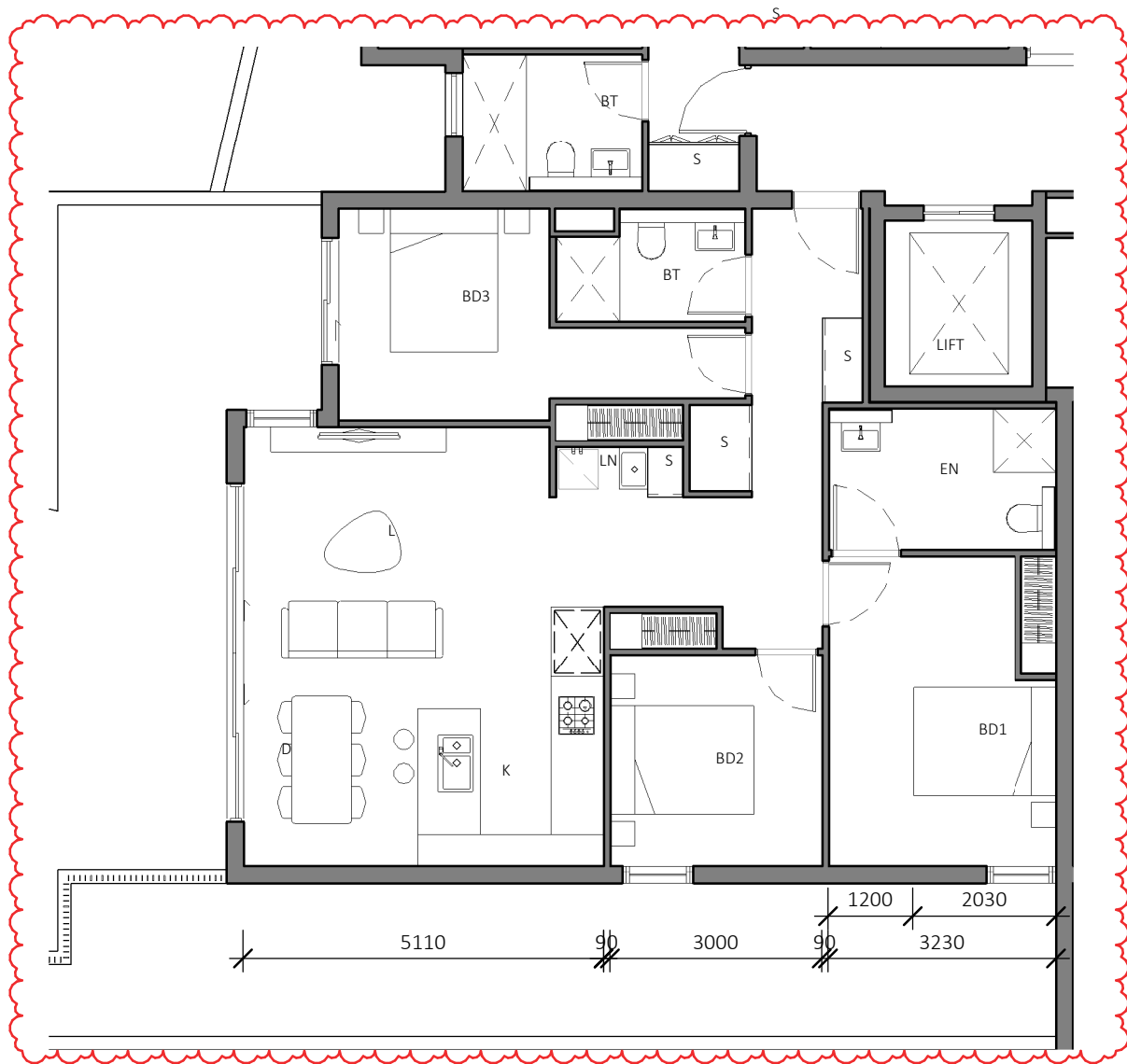
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21-038	DA-0-411	B	08/02/2022

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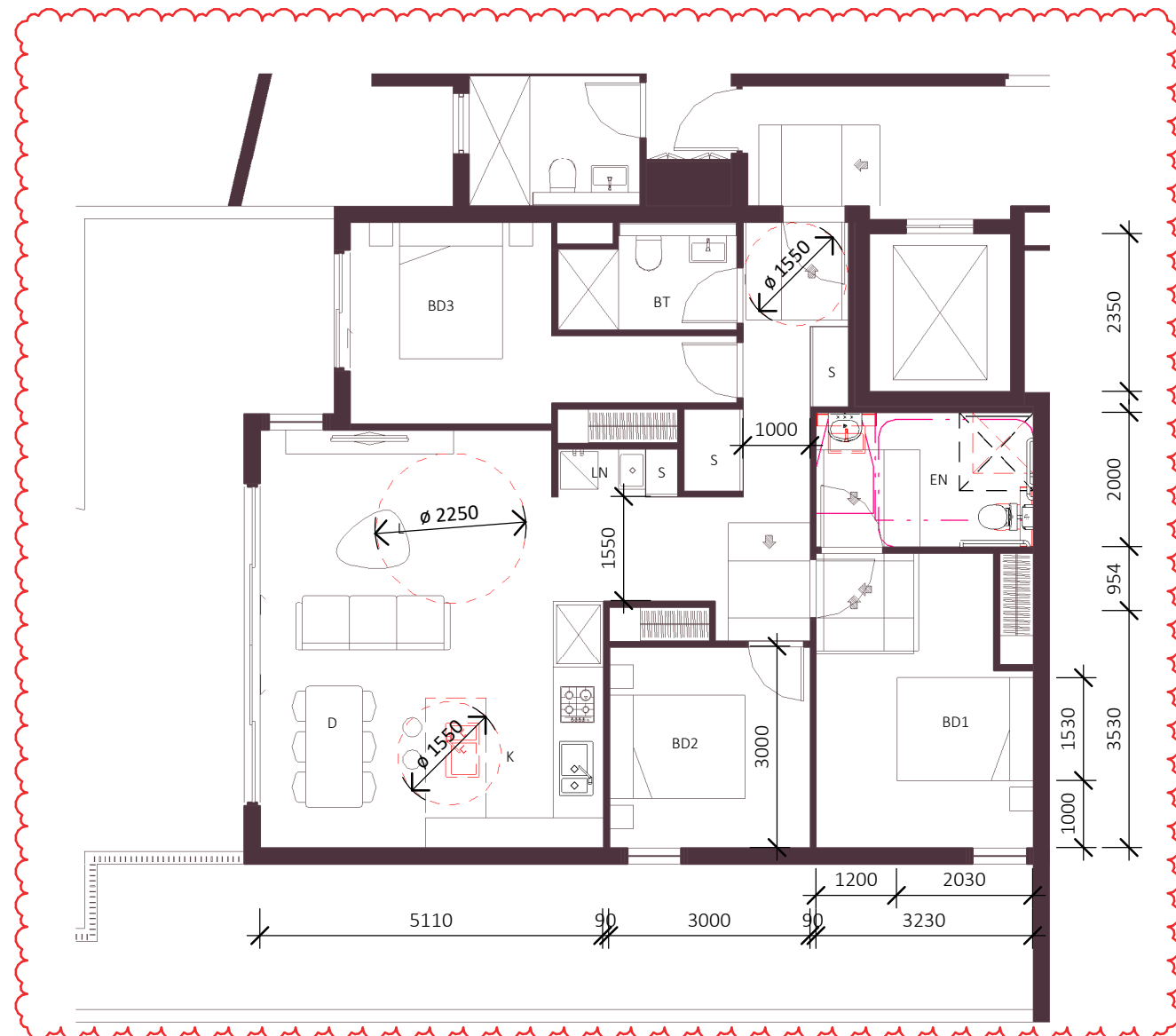


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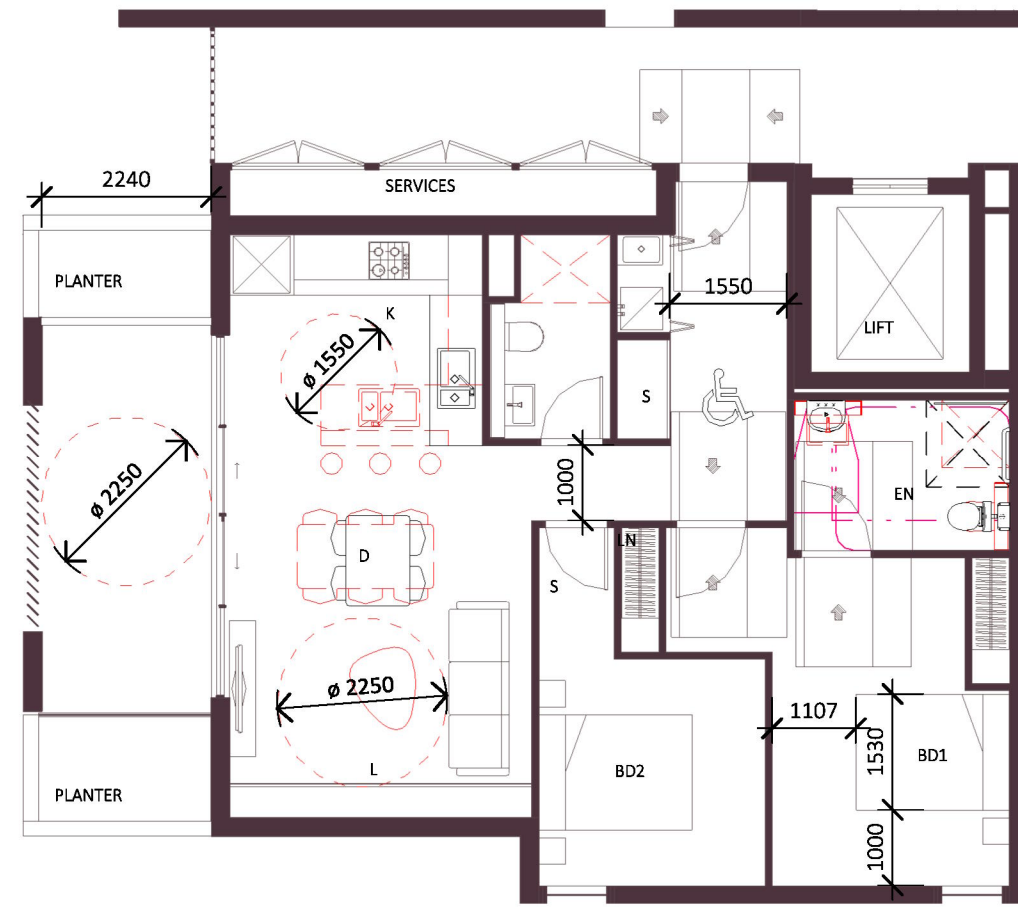
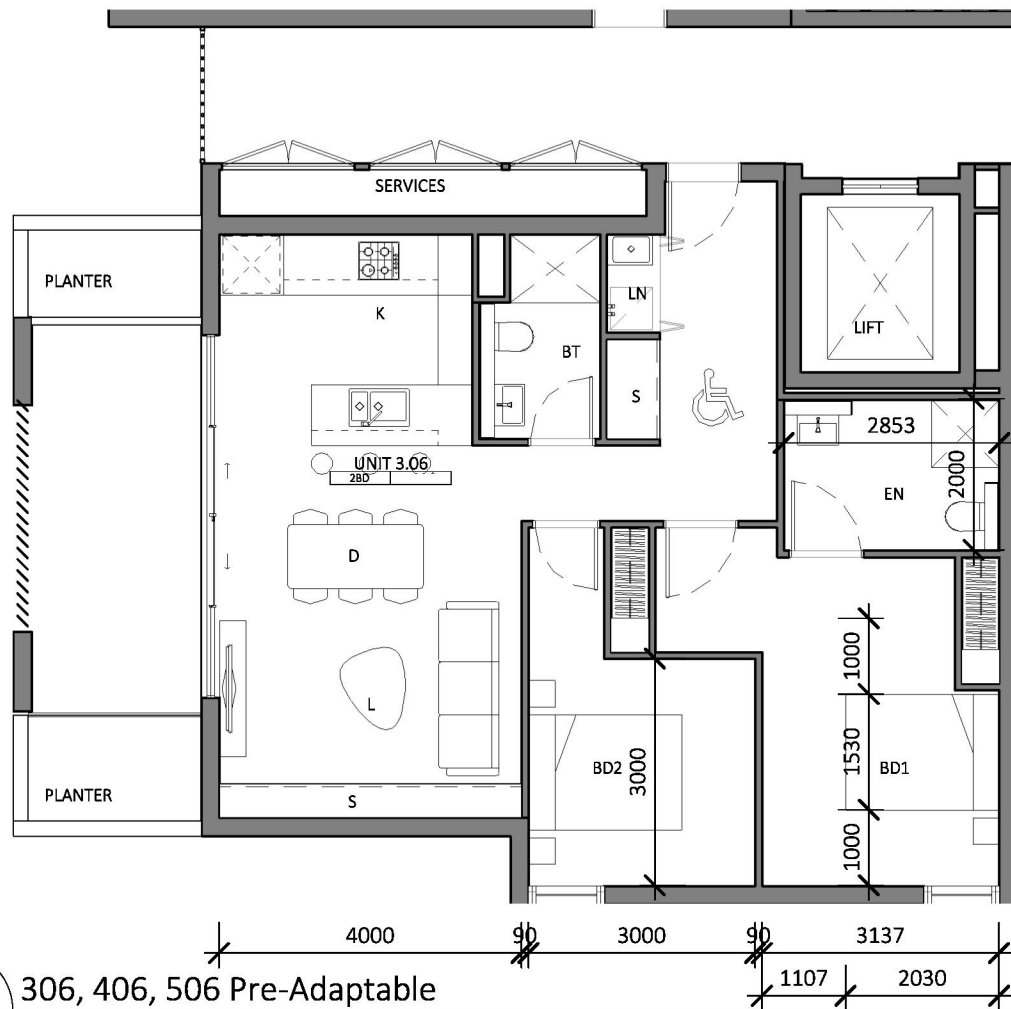
1 G02, 102, 202 Pre-Adaptable  
DA-0-301 1:100



2 G02, 102, 202 Post-Adaptable  
DA-0-301 1:100

REVISION:  
- PRE AND POST ADAPTABLE UNIT LAYOUTS REVISED

REV	DESCRIPTION	DATE	ISSUED	CHECKED
A	ISSUE FOR REVIEW	18/11/2021	OP	FC
B	ISSUE FOR CLIENT REVIEW	26/11/2021	OP	FC
C	ISSUE FOR CONSULTANTS	22/12/2021	AY	FC
D	ISSUE FOR CONSULTANTS	21/01/2021	AY	FC
E	REVISED ADAPTABLE UNITS	02/02/2022	AY	FC
F	ISSUE FOR \$4.55	08/02/2022	AY	FC



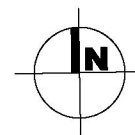
REVISION:  
- PRE AND POST ADAPTABLE UNIT LAYOUTS REVISED

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A	ISSUE FOR REVIEW	18/11/2021	OP	FC
B	ISSUE FOR CLIENT REVIEW	26/11/2021	OP	FC
C	ISSUE FOR CONSULTANTS	22/12/2021	AY	FC
D	ISSUE FOR CONSULTANTS	21/01/2021	AY	FC
E	REVISED ADAPTABLE UNITS	02/02/2022	AY	FC
F	ISSUE FOR S4.55	08/02/2022	AY	FC



PROJECT  
Moorebank

23-29 Harvey Ave, MOOREBANK

CLIENT  
UFN GROUP

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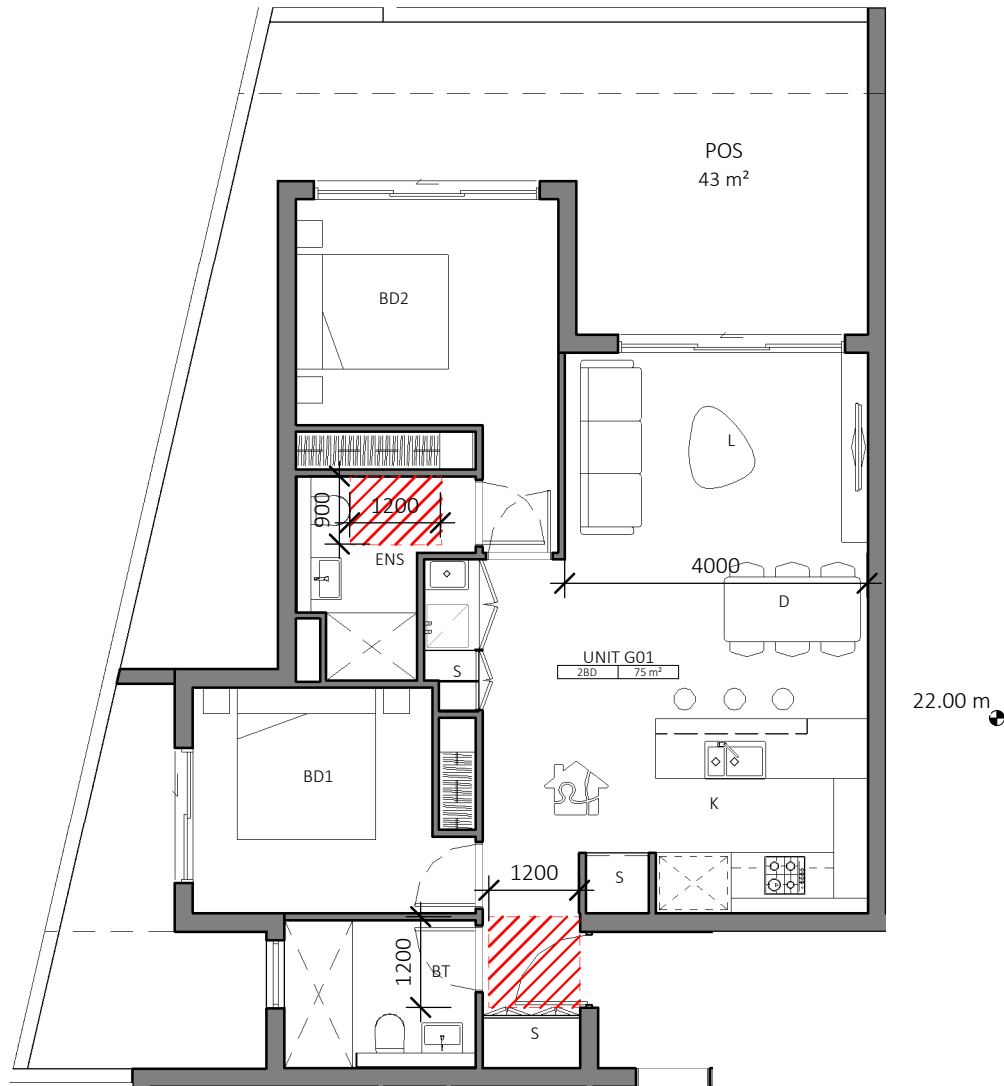
DRAWING  
ADAPTABLE UNIT- SHEET 2

PROJECT NO.	DRAWING NO.	REVISION	DATE
21-038	DA-0-702	F	08/02/2022
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1 : 100	OP	FC	

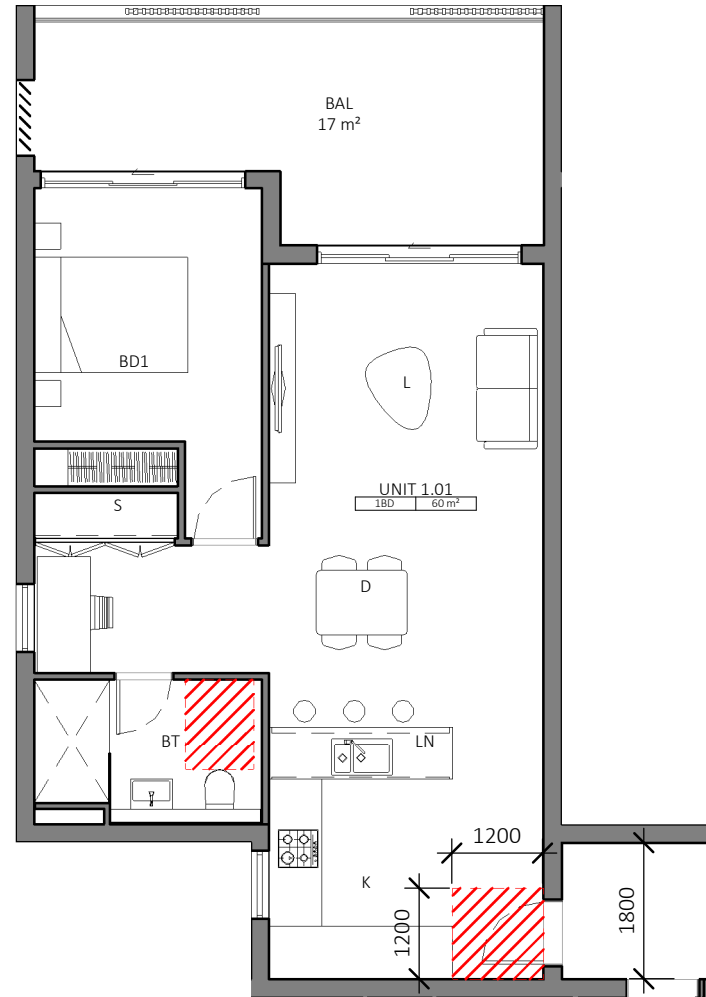


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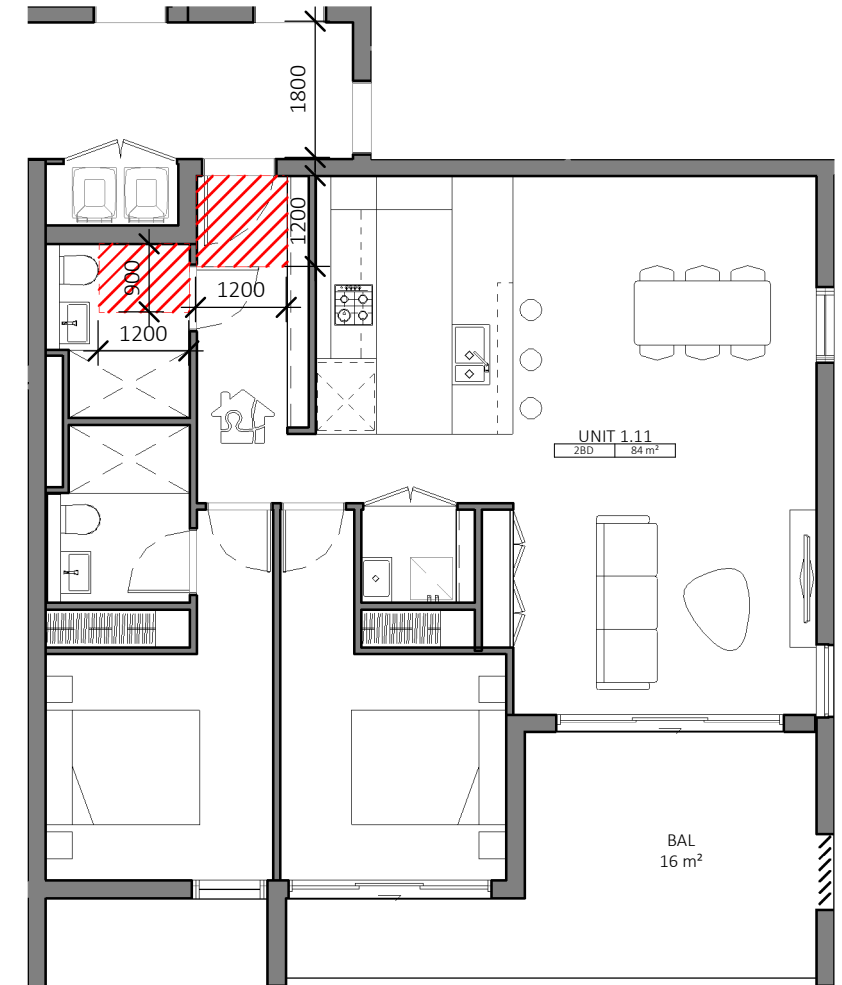




1 G01 Livable Unit  
DA-0-301 1:100



2 101, 201 Livable Unit  
DA-0-301 1:100



3 G09, 111, 211 Livable Unit  
DA-0-301 1:100

REVISION:  
- NEW DRAWING

REV	DESCRIPTION	DATE	ISSUED	CHECKED
A	SILVER LIVABLE UNITS	03/02/2022	AY	FC
B	ISSUE FOR S4.55	08/02/2022	AY	FC



REVISION:  
- DEEP SOIL CALCULATION REVISED WITH CHANGES TO ACCESS RAMPS AND FIRE EGRESS

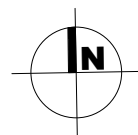
DEEP SOIL TOTAL  
=841m2  
=30.6%

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REV	DESCRIPTION	DATE	ISSUED	CHECKED
A	ISSUE FOR REVIEW	08/11/2021	OP	FC
B	ISSUE FOR CONSULTANTS	22/12/2021	AY	FC
C	ISSUE FOR CONSULTANTS	21/01/2021	AY	FC
D	ISSUE FOR \$4.55	08/02/2022	AY	FC
E	ISSUE FOR RFI	29/08/2022	HS	FC



PROJECT  
Moorebank  
23-29 Harvey Ave, MOOREBANK  
CLIENT  
UFN GROUP

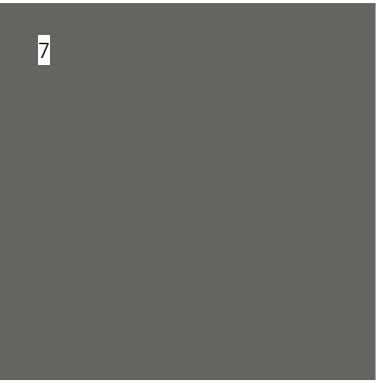
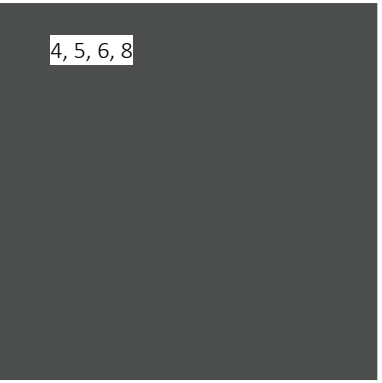
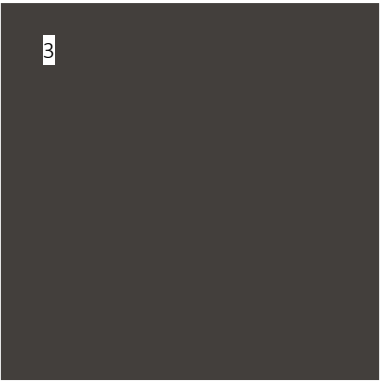
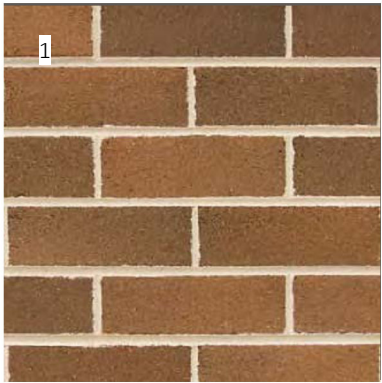
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DRAWING  
DEEP SOIL DIAGRAM

PROJECT NO.	DRAWING NO.	REVISION	DATE
21-038	DA-0-931	E	29/08/2022
SCALE @ A3	DRAWN	AUTHORISED	
1 : 200	OP	FC	



REFE...	ELEVATION NOTATION	ELEMENT	MATERIAL	FINISH
WALLS & BALUSTRADES				
1	WA-01	EXTERNAL WALL	BRICK VENEER	BOWRAL BROWN OR SIMILAR
2	WA-02	EXTERNAL WALL	RENDER AND PAINT	DULUX BUFF IT QUARTER
3	WA-03	EXTERNAL WALL	RENDER AND PAINT	DULUX NAMADJI
WINDOWS & DOORS				
4	WF-01	WINDOW FINS	POWDERCOATED ALUMINIUM	DURATEC MONUMENT MATT
5	WN-01	WINDOW AND DOOR FRAMES	POWDERCOATED ALUMINIUM , CLEAR GLASS	DURATEC MONUMENT MATT
6	BAL-01	BALUSTRADES	POWDERCOATED ALUMINIUM , CLEAR GLASS	DURATEC MONUMENT MATT
ROOF FEATURES				
7	SC-01	BALCONY SCREENS	POWDERCOATED ALUMINIUM	DURATEC TIMBERLAND SATIN
8	FE-01	METAL FENCES	POWDERCOATED ALUMINIUM	DURATEC MONUMENT MATT
9	FE-02	METAL GATE	POWDERCOATED ALUMINIUM	DULUX BUFF IT QUARTER



REVISION:  
- COLOURS REVISED

Dickson Rothschild  
D.R. Design (NSW) Pty. Ltd.  
65-69 Kent St,  
Millers Point, Sydney, NSW 2000  
ABN: 35 134 237 540  
Phone: +61 2 8540 8720  
This drawing and design is subject to D.R. Design (NSW) Pty Ltd copyright and may not be reproduced without prior written consent. Contractor to verify all dimensions on site before commencing work. Resolve all discrepancies with the Architect before proceeding. Figured dimensions to be taken in preference to scaled drawings. All work is to conform to relevant Australian Standards and other Codes as applicable, together with other Authorities' requirements and regulations.

Nominated Architects:  
Robert Nigel Dickson  
NSW ARB #5364  
Fergus William Cumming  
NSW ARB #7233  
www.dicksonrothschild.com.au

REV	DESCRIPTION	DATE	ISSUED	CHECKED
A	ISSUE FOR CONSULTANTS	21/01/2021	AY	FC
B	ISSUE FOR S4.55	08/02/2022	AY	FC
C	ISSUE FOR RFI	29/08/2022	HS	FC

PROJECT  
Moorebank

23-29 Harvey Ave, MOOREBANK

CLIENT  
UFN GROUP

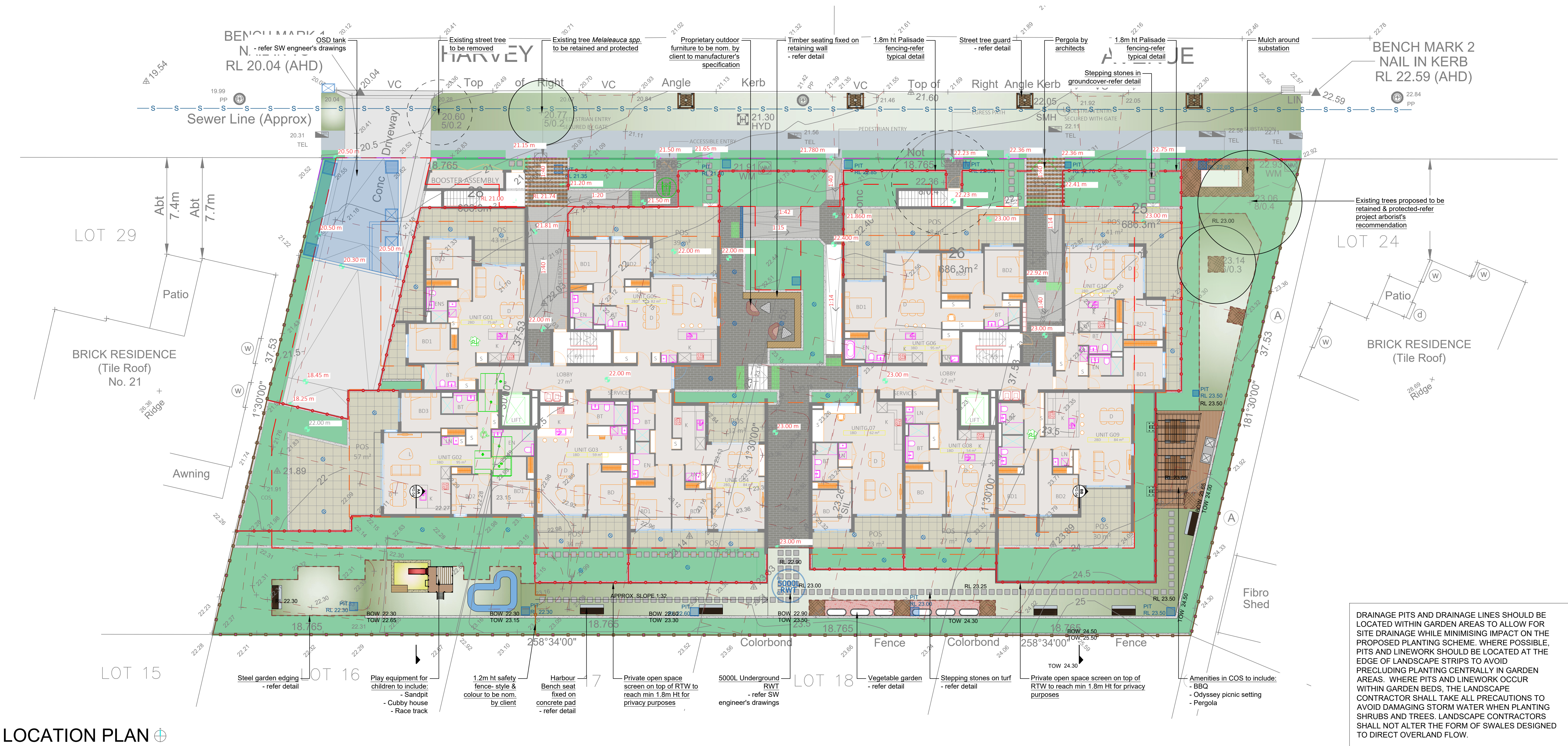
S4.55  
D:\21-038-DA-0-R22-(CEN)-Current\_hshah8369Z.rvt

DRAWING EXTERNAL FINISHES & MATERIALS			
PROJECT NO. 21-038	DRAWING NO. DA-0-941	REVISION C	DATE 29/08/2022
SCALE @ A3 NOT TO SCALE		DRAWN AY	AUTHORISED FC



PRINTED: 29/08/2022 3:33:02 PM





LOCATION PLAN  
Scale: NTs



#### OTHER LANDSCAPE ITEMS

- Steel garden edging - refer detail
- Turf area - refer detail
- Stepping stones in groundcover/turf - refer detail
- Deco-granite surface - refer detail
- Timber deck - refer detail
- Retaining / raised planter wall - refer detail
- Timber bench fixed on retaining wall - refer detail
- Sandpit - refer detail
- Rubber soffall area - refer detail
- Concrete footpath to be in accordance with council's public domain specification
- Cubby house - refer manufacturer's detail & specifications
- Site boundary fence-style & colour to be nom. by client
- 1.8m ht Courtyard palisade fence-refer detail
- Outdoor pavers- style & colour to be nom. by client
- 1.2m safety fence for play area- colour and style to be nom. by client
- Harbour bench seat - refer detail
- Odyssey picnic setting - refer detail
- Proprietary outdoor furniture to be nom. by client to manufacturer's specification
- Vegetable garden - refer detail
- Street tree guard - refer detail
- Pergola - refer detail
- Pergola by architects
- Trees proposed to be removed and replaced with new landscaping
- Existing trees proposed to be retained and protected

#### LANDSCAPE CALCULATIONS

<b>SITE AREA:</b>	<b>2745.46m<sup>2</sup></b>
<b>REQUIRED DEEP SOIL AREA:</b> (6 M MINIMUM WIDTH, ADG)	<b>192.2m<sup>2</sup> (7%)</b>
<b>PROPOSED DEEP SOIL AREA:</b> (COMPLIANT)	<b>595.6m<sup>2</sup> (21.7%)</b>









LEGEND & SCHEDULE

NOTES:

1. ALL FINAL PLANT QUANTITIES INDICATED ON PLANS SHALL BE CHECKED AND VERIFIED BY SUCCESSFUL LANDSCAPE CONTRACTOR.

2. ANY PLANT SUBSTITUTES REQUIRED DUE TO UNAVAILABILITY SHALL BE RECOMMENDED BY THE LANDSCAPE CONTRACTOR TO BEST MATCH SUBSTITUTED PLANTS AND APPROVED PRIOR TO PURCHASING BY THE LANDSCAPE ARCHITECT.

3. WORKS CERTIFIED FOR FINAL OCCUPANCY CERTIFICATE ARE TO MATCH APPROVED LANDSCAPE PLANS.

4. LANDSCAPE CONTRACTOR SHALL LOCATE AND AVOID SITE STORM WATER & DRAINAGE SERVICES. LOCATE TREES A MINIMUM 1.25M FROM PITS

5. ALL PLANTING AROUND EXISTING TREES SHALL BE ADJUSTED TO AVOID DAMAGE AND CLASHING WITH SURFACE ROOTS

6. THE NATURE STRIP (STREET FRONTAGE) FOR THE SITE IS PUBLIC LAND, AND ONLY AUTHORIZED WORKS MAY OCCUR HERE. EXISTING CONDITIONS SUCH AS STREET TREES, COUNCIL PLANTING ETC SHALL BE RETAINED AND PROTECTED DURING CONSTRUCTION, UNLESS SPECIFIC APPROVAL HAS BEEN GRANTED FOR NEW WORK IN THIS AREA.

TREES

- Botanical Name:** *Banksia serrata*  
**Common Name:** Old Man Banksia (Native)  
**Pot size:** 75L  
**Mature H x S:** 5m x 3m  
**Qty Required:** 4
- Botanical Name:** *Plumeria acutifolia*  
**Common Name:** Frangipani (Exotic)  
**Pot size:** 75Lt  
**Mature H x S:** 5m x 4m  
**Qty Required:** 5

SHRUBS AND HEDGES

- Botanical Name:** *Callistemon 'Macarthur'*  
**Common Name:** Macarthur Bottlebrush (Native)  
**Pot size:** 300mm  
**Mature H x S:** 1.8m x 1.5m  
**Qty Required:** 4
- Botanical Name:** *Westringia 'Aussie Box'*  
**Common Name:** Westringia Aussie Box (Native)  
**Pot size:** 300mm  
**Mature H x S:** 0.9m x 0.9m  
**Qty Required:** 52
- Botanical Name:** *Metrosideros 'Tahiti'*  
**Common Name:** NZ Christmas Bush (Exotic)  
**Pot size:** 150mm  
**Mature H x S:** 1m x 1m  
**Qty Required:** 43
- Botanical Name:** *Syzygium 'Tiny Trev'*  
**Common Name:** Dwarf Lilly Pilly (Native)  
**Pot size:** 200mm  
**Mature H x S:** 1m x 1m  
**Qty Required:** 17

ACCENT PLANTS

- Botanical Name:** *Cordyline australis*  
**Common Name:** Cabbage tree (Native)  
**Pot size:** 45L  
**Mature H x S:** 1.5-2.5m x 1-2.5m  
**Qty Required:** 5
- Botanical Name:** *Doryanthes excelsa*  
**Common Name:** Gynea Lily (Native)  
**Pot size:** 200mm  
**Mature H x S:** 1.1m x 1m  
**Qty Required:** 19
- Botanical Name:** *Strelitzia juncea*  
**Common Name:** Rush-leaved Strelitzia (Exotic)  
**Pot size:** 200mm  
**Mature H x S:** 1.5m x 1m  
**Qty Required:** 20
- Botanical Name:** *Anigozanthos 'Ruby Velvet'*  
**Common Name:** Kangaroo Paw cvs (Native)  
**Pot size:** 150mm  
**Mature H x S:** 0.4m x 0.3m  
**Qty Required:** 67

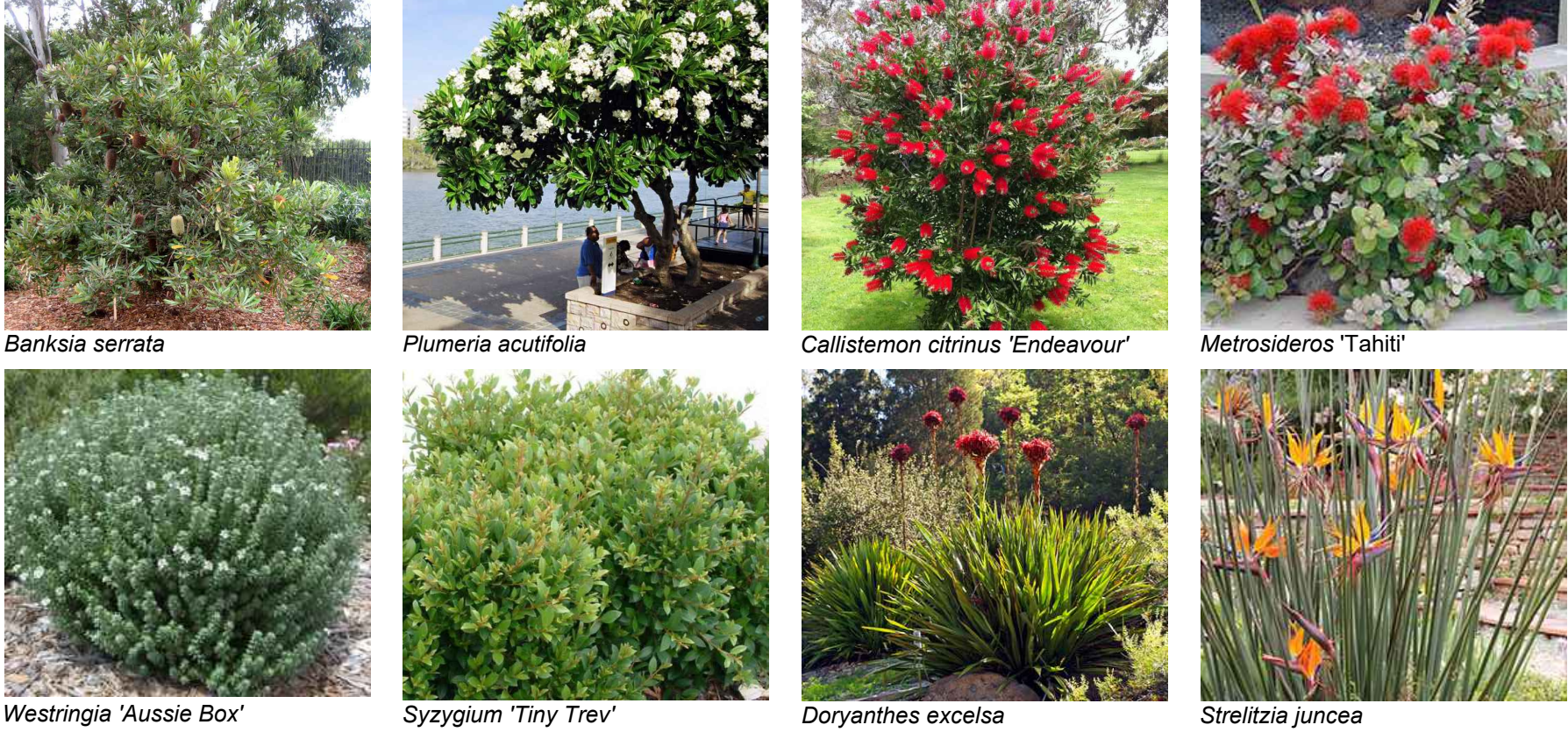
GRASSES + GROUNDCOVERS

- Botanical Name:** *Dianella tasmanica 'Tasred'*  
**Common Name:** Tasred Flax Lily (Native)  
**Pot size:** 200mm  
**Mature H x S:** 0.6m x 0.65m  
**Qty Required:** 61

OTHER LANDSCAPE ITEMS

- Safety balustrade to comply with BCA & AS standard
- Corten steel planter - refer detail
- Timber deck - refer detail
- Retaining / raised planter wall - refer detail
- Timber bench fixed on retaining wall - refer detail
- Harbour bench seat - refer detail
- Odyssey picnic setting - refer detail
- Proprietary outdoor furniture to be nom. by client to manufacturer's specification

**SAMPLE IMAGES**  
Images are diagrammatic only, and final planting species may vary, as determined by Council Approval



'FOR ADVANCED TREE PLANTING IN HIGH WIND AND ROOFTOP LOCATIONS, IT IS RECOMMENDED THAT AN APPROVED ROOT BALL ANCHORING SYSTEM EQUAL TO 'PLATIPUS ANCHORS' SHALL BE USED. INSTALL AS PER THE MANUFACTURERS SPECIFICATION'

GENERAL NOTE: Figured dimensions take preference to scale readings. Verify all dimensions on site. NTP or plan may vary slightly to State or local council plans. Report any discrepancies to the Landscape Architect before proceeding with the work. <b>Copyright Statement: Copyright P/L All Rights Reserved</b> This drawing is intended for planning, all rights are reserved. It may be used for the purpose of the project only. It is not to be used for any other purpose without the prior written permission of the copyright owner. If the status of this drawing is not specified the Copyright must be subject to change, alteration or amendment at the discretion of the office.	 <b>www.dialbeforeyoudig.com.au</b> <b>DIAL 1100 BEFORE YOU DIG</b> <b>Bar Scale</b> 0 2 4 6 8 10m	ARCHITECT: DICKSON ROTHSCHILD	LANDSCAPE ARCHITECT:  Suit 101, 506 Miller Street, CAMMERAY NSW 2062 Phone: 9622 5312 Fax: 9209 4982 Mobile: 0413 881 351 www.concept.net.au enquiries@concept.net.au	COUNCIL: LIVERPOOL  CLIENT: UFN GROUP	REV DATE NOTATION/AMENDMENT A 30.8.2022 Preliminary plan prepared for review B 15.2.2022 Coordinate with SW drawings C 26.08.2022 Coordinate with amended architectural plan & council's comments	PROJECT: PROPOSED RESIDENTIAL DEVELOPMENT 23-29 HARVEY AVE MOOREBANK	TITLE: LANDSCAPE PLAN [L6 COS]	STATUS: SECTION 4.55 SCALE: 1:100 @ A1 DATE: AUGUST 2022 DRAWN: R.H CHECKED: R.F
						DWG No: LPS4.55 19 - 10 PAGE NUMBER: 3		

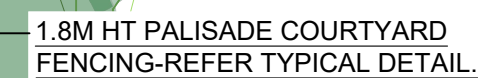




— 1.8M HT SITE BOUNDARY  
FENCING-REFER DETAIL



1.8M HT SITE BOUNDARY  
FENCING-REFER DETAIL



**NGL**



TOW 24.50

RL 23.50

POS

FFL 23.00

CHECKED:  
R.F









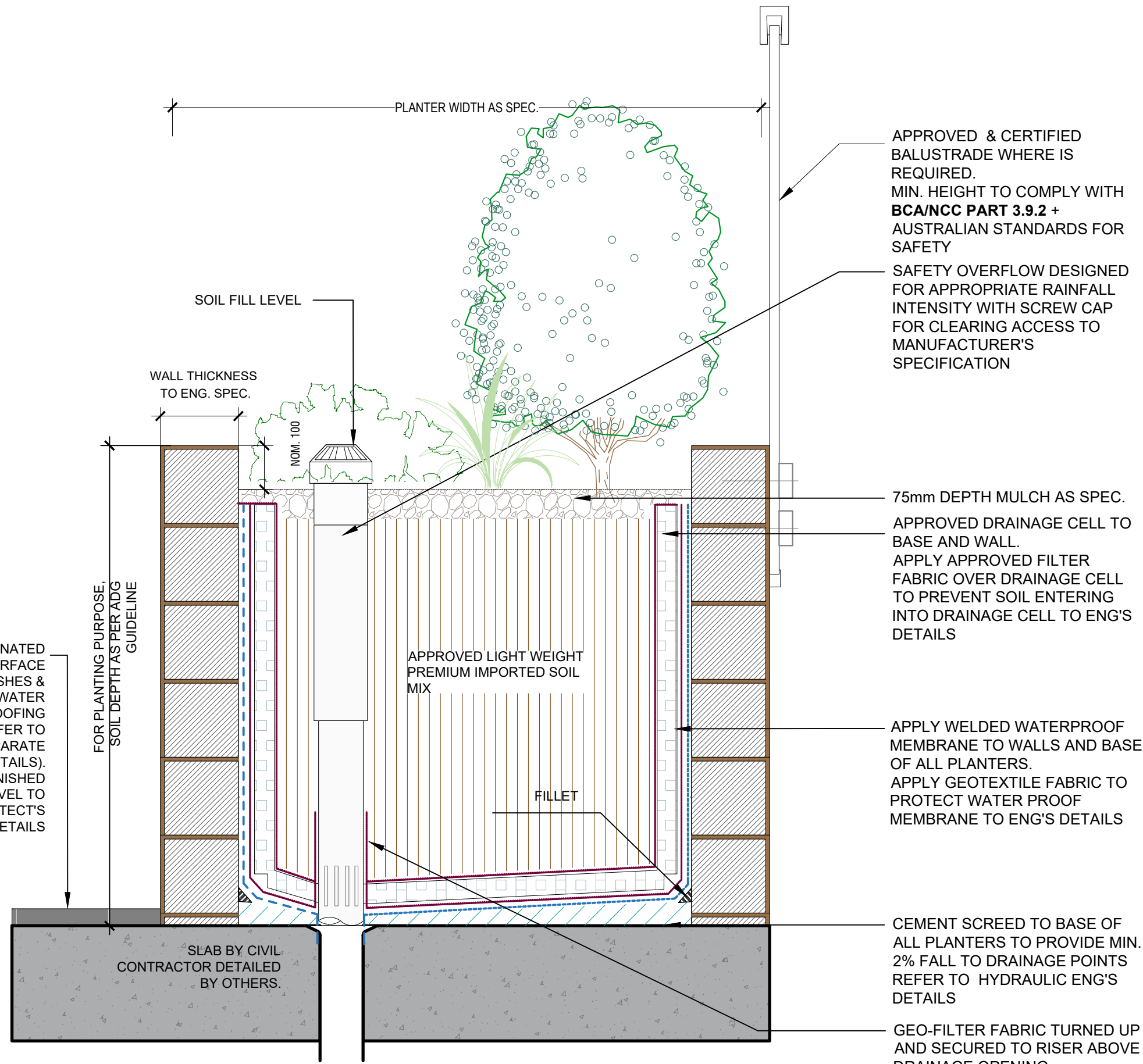
OVERFLOW  
(TO SUPPLIER'S  
SPECIFICATION)

**NOTE (BCA COMPLIANCE).**  
WHERE NO EXTERNAL  
BALUSTRADE IS PROPOSED,  
THE INTERNAL PLANTER WALL  
FACE MUST BE NON-CLIMBABLE  
TO A HEIGHT TO MEET AS &  
BCA COMPLIANCE.

**NOTE (DRAINAGE & WATER  
PROOFING).**  
DRAINAGE PITS AND LAYOUT  
TO BE NOMINATED BY  
HYDRAULIC ENGINEER TO  
WORK WITH STRUCTURAL  
DESIGN AND LANDSCAPE.

THE WATERPROOFING,  
APPROVED DRAINAGE CELL  
AND SPECIFIED GEOFABRIC  
LAYER IN THIS DETAIL ARE  
INDICATIVE ONLY AND SHOULD  
BE DETAILED BY THE  
RELEVANT PROFESSIONAL  
ENGINEER 'FOR  
CONSTRUCTION'.

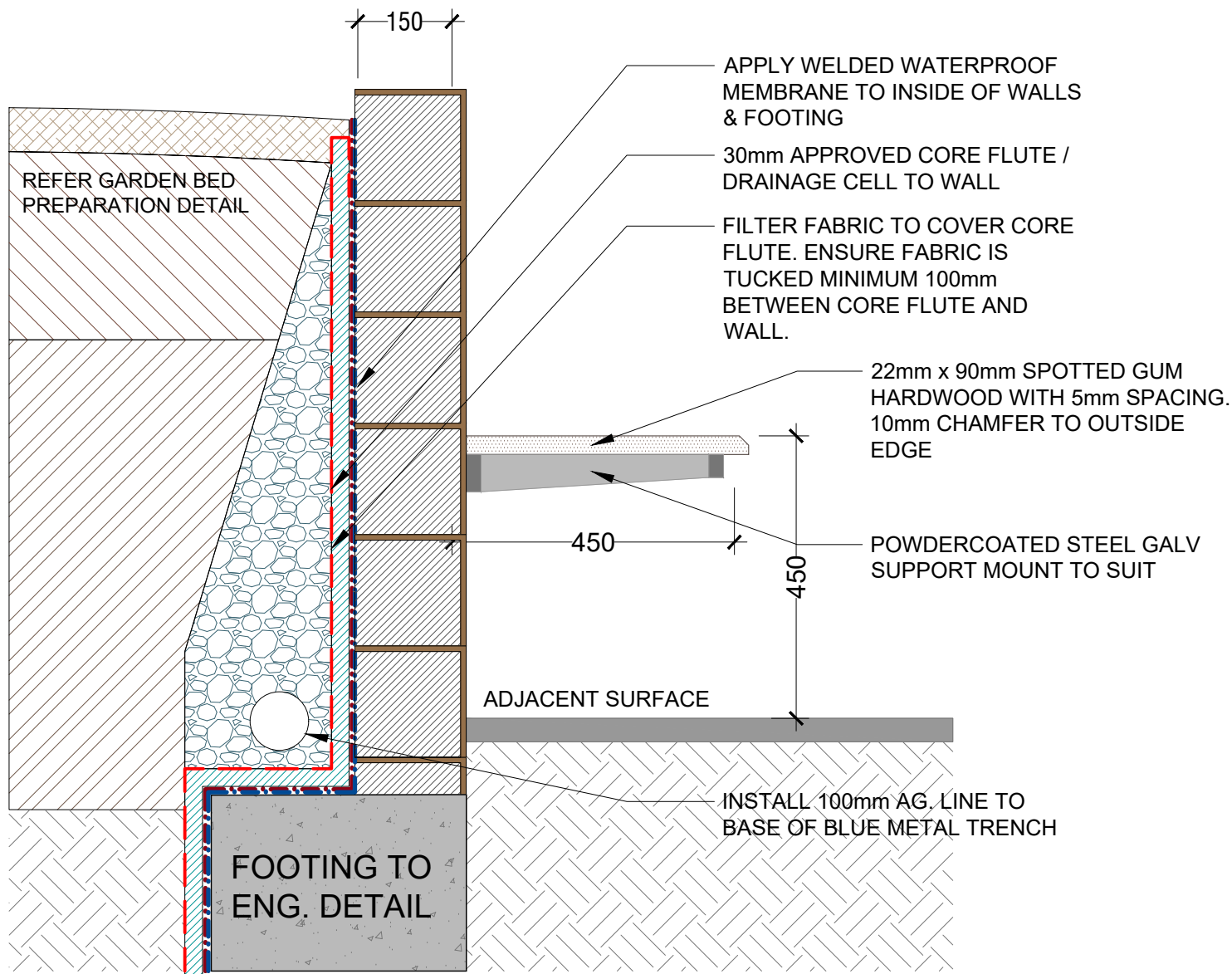
UNDER THE CONSTRUCTION  
PRACTITIONER BILL,  
STRUCTURAL  
WATER-PROOFING SHALL BE  
DOCUMENTED BY A  
HYDRAULIC ENGINEER



### TYPICAL MASONRY PLANTER ON SLAB DETAIL

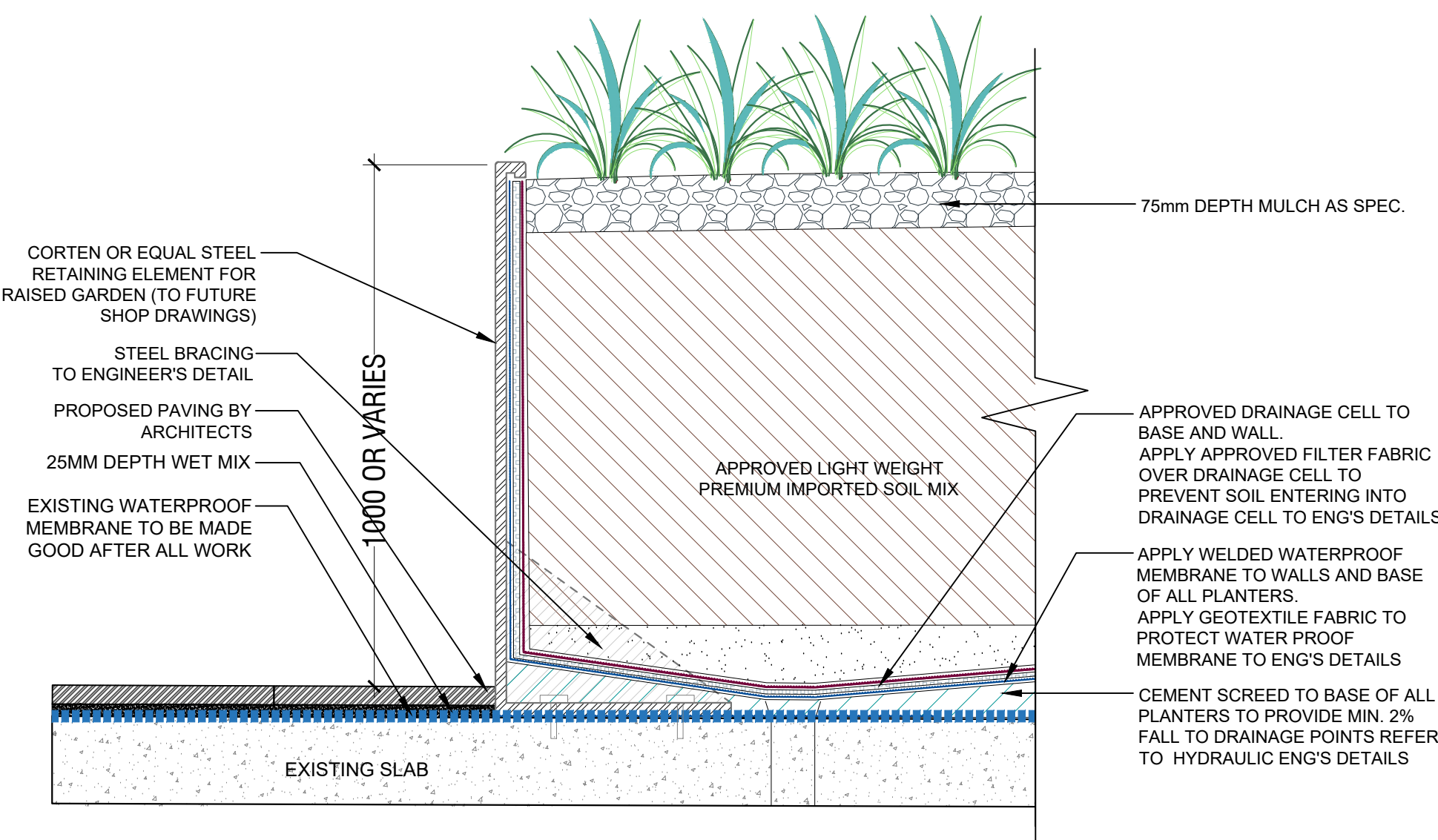
SCALE: 1:10

**NOTE: TYPICAL DETAIL ONLY. ALL WALLS WHICH FORM PART OF DRAINAGE WORKS MUST BE BUILT AS DETAILED BY THE HYDRAULIC ENGINEER. ALL WALLS EXCEEDING 1m HEIGHT SHALL BE DETAILED BY A QUALIFIED ENGINEER. INSTALL WALL TO SUIT SITE LEVELS AND TO MANUFACTURE'S SPECIFICATION.**



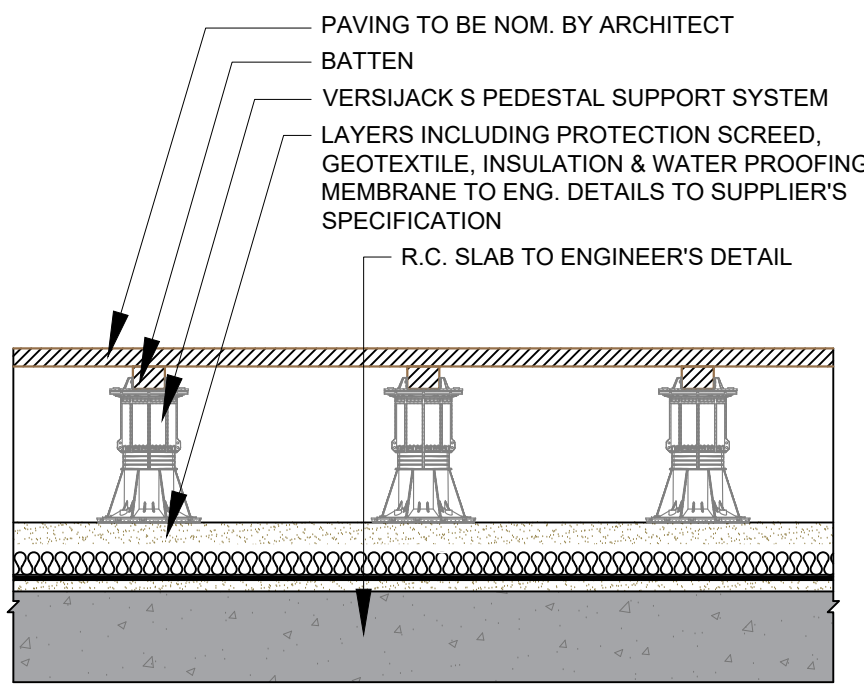
### MASONRY RETAINING WALL DETAIL

SCALE 1:10



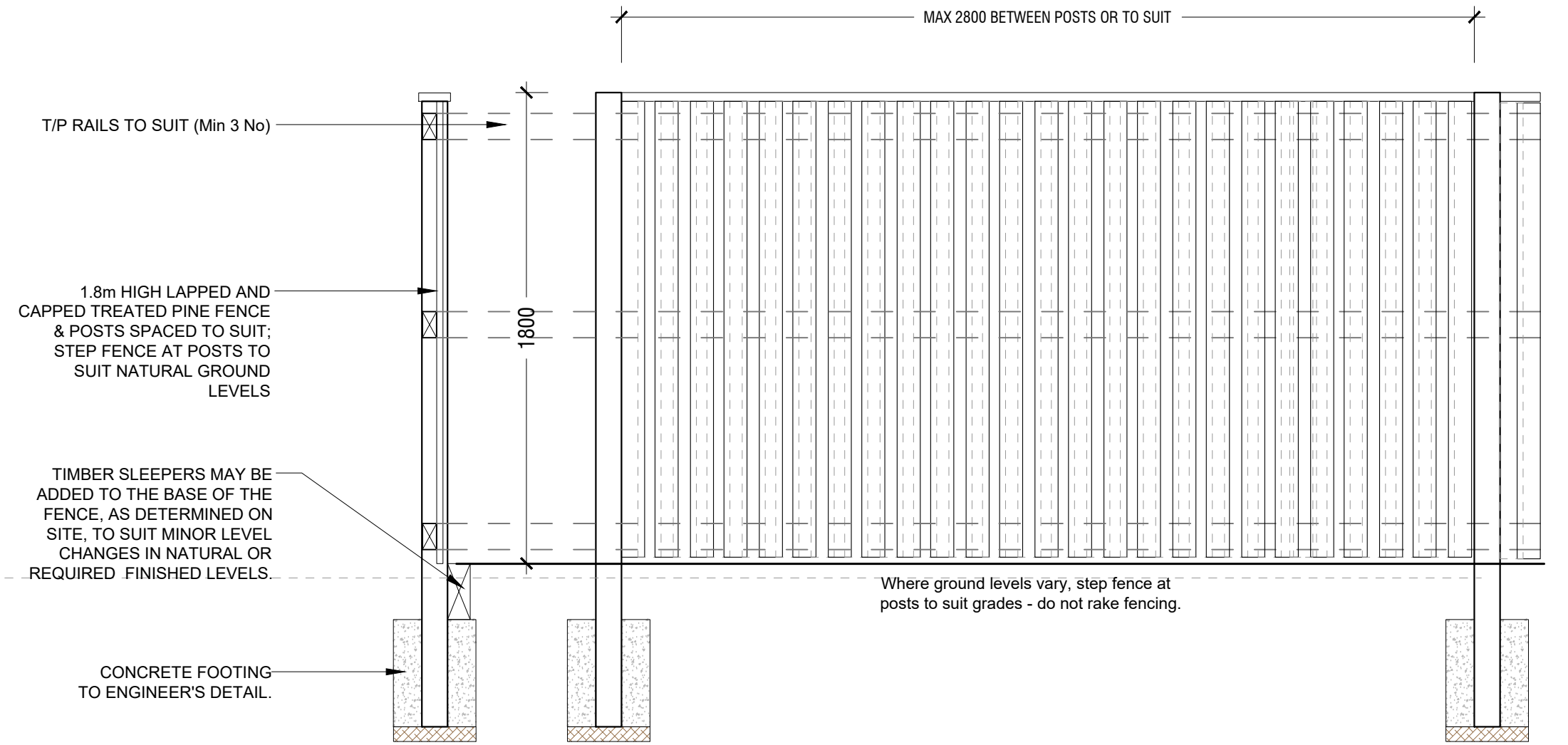
### TYPICAL CORTEN STEEL PLANTER

SCALE: 1:10



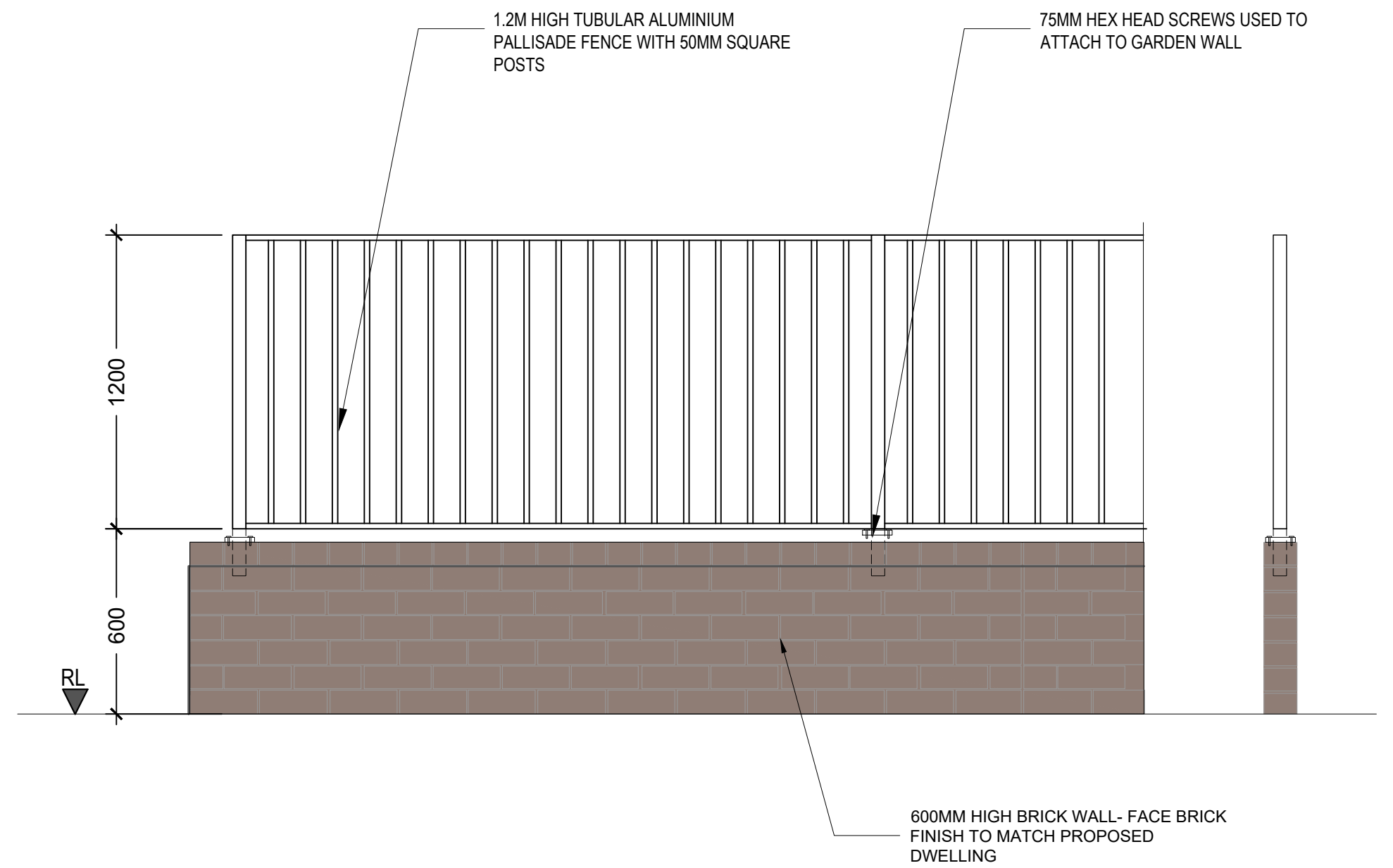
### PAVING DETAIL

SCALE 1:20



### 1.8m BOUNDARY LAPPED AND CAPPED T/P TIMBER FENCING

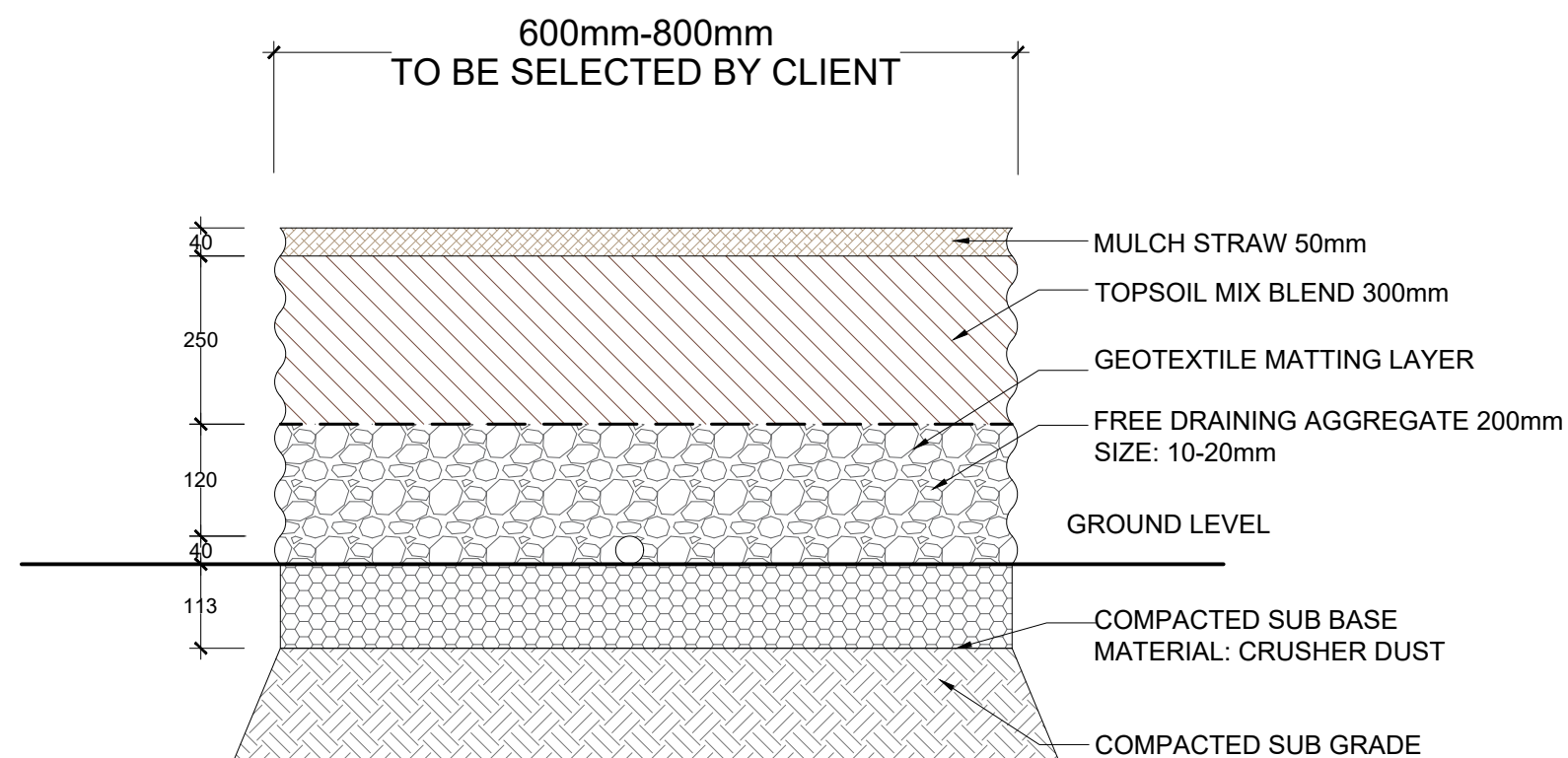
SCALE: 1:20



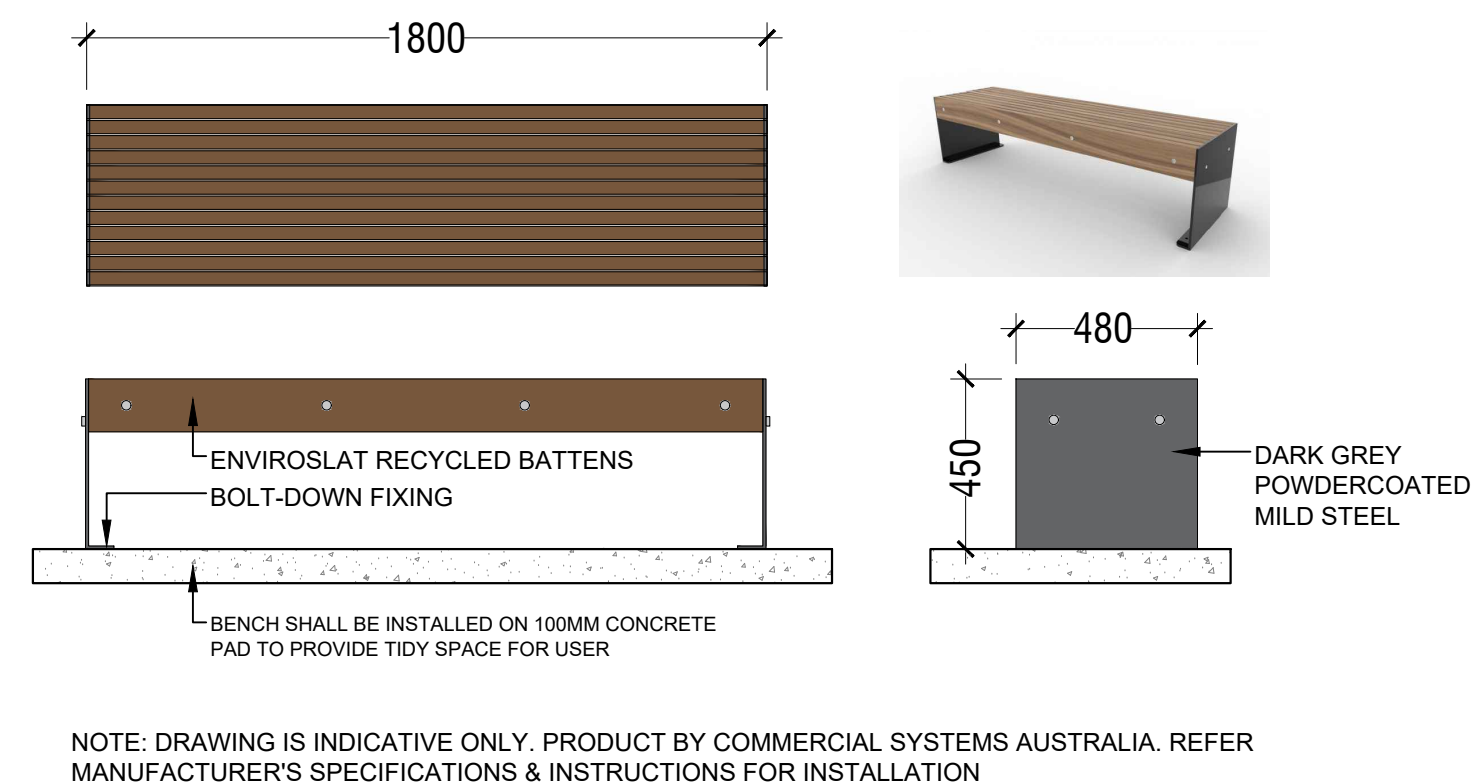
### 1.8m PALISADE COURTYARD FENCE

SCALE: 1:20

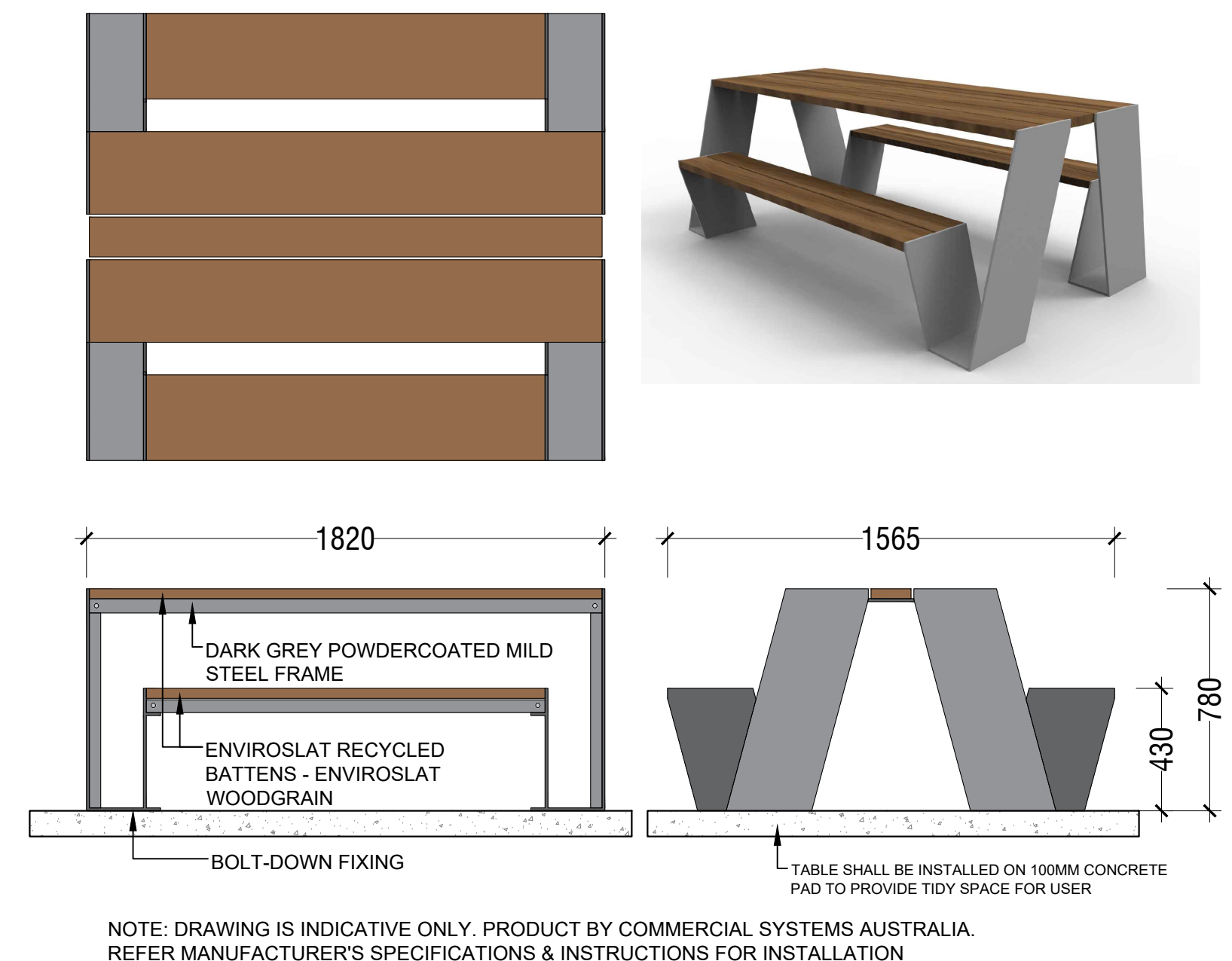




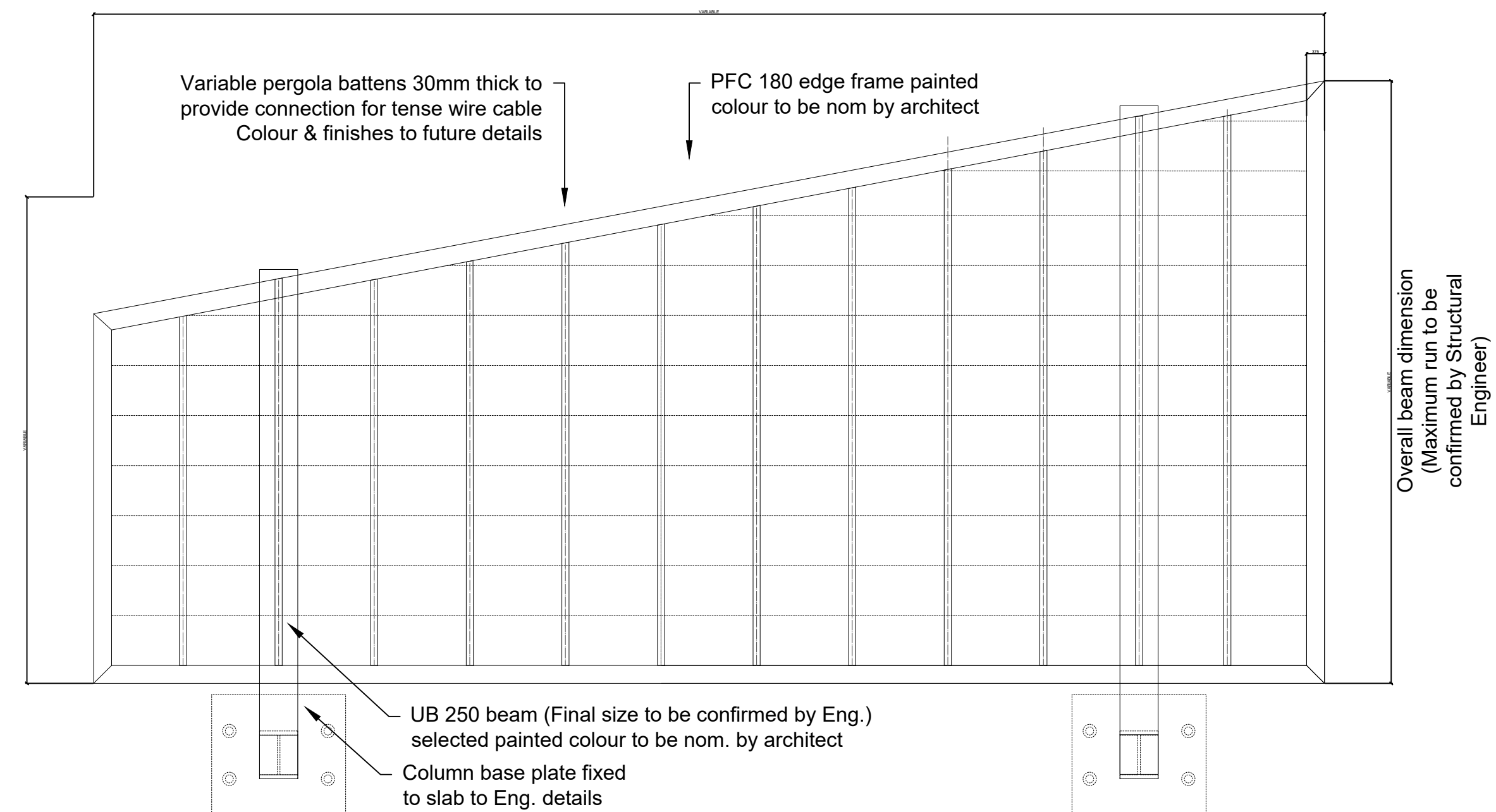
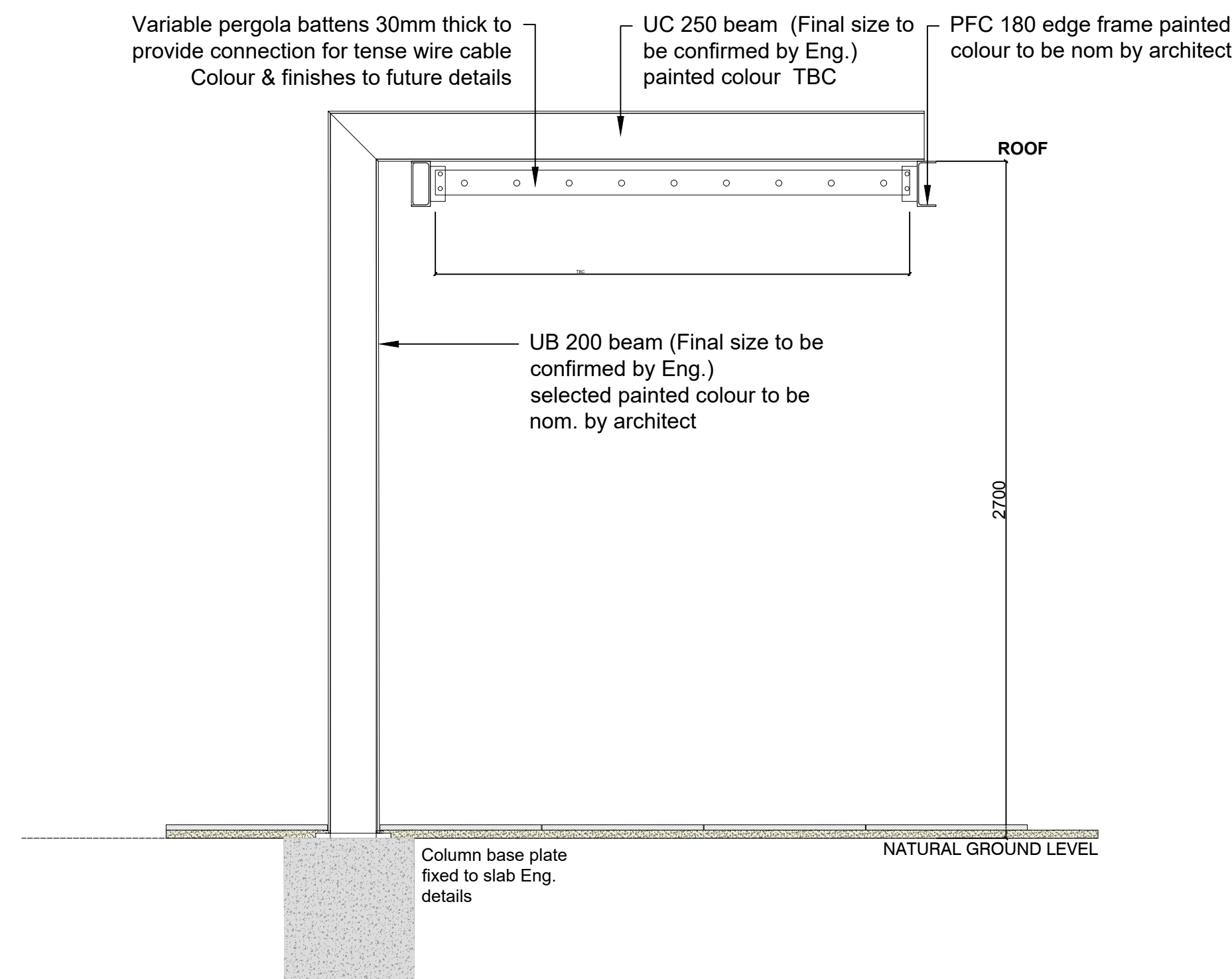
SCALE: 1:10



SCALE 1:20



SCALE 1:20



SCALE 1:20



28 February 2022

The General Manager  
Liverpool City Council  
33 Moore Street,  
Liverpool, NSW 2170

## Design Verification Statement

RE: Section 4.55\_ Residential Development \_ 23-29 Harvey Avenue, Moorebank (DA 627/2018)

I, the undersigned, do hereby verify that as a registered architect and qualified designer, I have directed the modification of the residential Apartment development at the above address is substantially the same with the approved development (DA 627/2018) and nine (9) design quality principles prepared by Pagano Architects and GAT Associates in the SEPP 65 Design Verification Statement – 23-29 Harvey Ave Moorebank in accordance with Schedule 1 of the State Environmental Planning Policy No.65 – Design Quality of Residential Apartment Development is remained in this modification.

.....

...

Robert Nigel Dickson

28/02/2021

.....

Date

### Dickson Rothschild

D.R. Design (NSW) Pty Limited  
65-69 Kent Street  
Millers Point, NSW 2000 Australia

ABN 35 134 237 540  
[www.dicksonrothschild.com.au](http://www.dicksonrothschild.com.au)  
+61 2 8540 8720

Nominated Architects: Robert Nigel Dickson (5364)  
Fergus William Cumming (7233)



# LOKA CONSULTING ENGINEERS

OFFICE : SUITE 2, 55-59 PARRAMATTA ROAD, LIDCOMBE NSW 2141

PHONE: 02 8065 9689

FAX: 02 8065 9690

MOBILE: 0404 142 063

EMAIL: [info@lceng.com.au](mailto:info@lceng.com.au)

Web: [www.lceng.com.au](http://www.lceng.com.au)

---

Job Number: **18NL157-T7**

Date: **9<sup>th</sup> February, 2022**

## Traffic Management Report for 23-29 Harvey Avenue, Moorebank, NSW

Prepared by

**LOKA CONSULTING ENGINEERS PTY LTD**

**Nermein Loka**

BSC, ME, MIE(AUST), CPEng, NPER, RPEQ

Senior Civil Engineer

Accredited Certifier

Director





## **LOKA CONSULTING ENGINEERS PTY LTD**

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FAX: 02 8065 9690

MOBILE: 0404 142 063

EMAIL: [info@Lceng.com.au](mailto:info@Lceng.com.au)

WEB: [www.Lceng.com.au](http://www.Lceng.com.au)

---

Job Number: 18NL157-WMP7

Date: 9<sup>th</sup> February, 2022

# **Waste Management Plan for** **23-29 Harvey Avenue, Moorebank NSW**

Prepared by

**LOKA CONSULTING ENGINEERS PTY LTD**

**Nermein Loka**

BSC, ME, MIE (AUST), CPEng, NPER, RPEQ, APEC, IPEA

Senior Civil Engineer

Accredited Certifier

Director

# BASIX<sup>®</sup>Certificate

Building Sustainability Index [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

## Multi Dwelling

Certificate number: 944928M\_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

This certificate is a revision of certificate number 944928M lodged with the consent authority or certifier on 14 August 2018 with application DA-627/2018.

It is the responsibility of the applicant to verify with the consent authority that the original, or any revised certificate, complies with the requirements of Schedule 1 Clause 2A, 4A or 6A of the Environmental Planning and Assessment Regulation 2000

Secretary

Date of issue: Thursday, 17 February 2022

To be valid, this certificate must be lodged within 3 months of the date of issue.



Planning,  
Industry &  
Environment

### Project summary

Project name	23-29 Harvey Ave Moorebank Residenti_02
Street address	23 Harvey Avenue Moorebank 2170
Local Government Area	Liverpool City Council
Plan type and plan number	deposited 236405
Lot no.	25-28
Section no.	-
No. of residential flat buildings	1
No. of units in residential flat buildings	58
No. of multi-dwelling houses	0
No. of single dwelling houses	0

### Project score

Water	✓ 40	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 28	Target 25

### Certificate Prepared by

Name / Company Name: Loka Consulting Engineers PTY LTD

ABN (if applicable): 16600535457

# Nationwide House Energy Rating Scheme

## NatHERS Certificate No. 0KNX59SBY2

Generated on 17 Feb 2022 using FirstRate5: 5.3.2a (3.21)

### Property

**Address** UNIT 2.05, 23-29 HARVEY AVE, MOOREBANK, NSW, 2170  
**Lot/DP** 25-28/236405  
**NCC Class\*** Class 2  
**Type** New Home

### Plans

**Main plan** E/08022022  
**Prepared by** dr

### Construction and environment

<b>Assessed floor area (m<sup>2</sup>)*</b>		<b>Exposure type</b>
Conditioned*	79.8	suburban
Unconditioned*	0.9	<b>NatHERS climate zone</b>
Total	80.7	28 Richmond
Garage	-	



### Accredited assessor

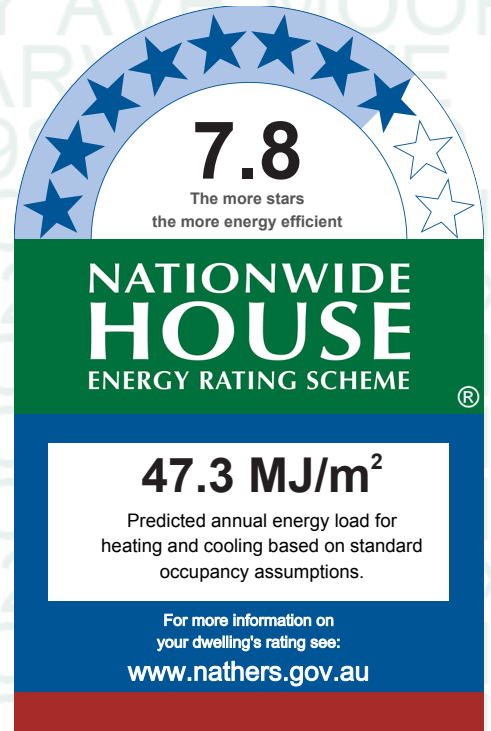
**Name** Nermein Loka  
**Business name** Loka Consulting Engineers  
**Email** info@lceng.com.au  
**Phone** 80659689  
**Accreditation No.** 101399  
**Assessor Accrediting Organisation** ABSA  
**Declaration of interest** Declaration completed: no conflicts

### National Construction Code (NCC) requirements

The NCC's requirements for NatHERS-rated houses are detailed in 3.12.0(a)(i) and 3.12.5 of the NCC Volume Two. For apartments the requirements are detailed in J0.2 and J5 to J8 of the NCC Volume One.

In NCC 2019, these requirements include minimum star ratings and separate heating and cooling load limits that need to be met by buildings and apartments through the NatHERS assessment. Requirements additional to the NatHERS assessment that must also be satisfied include, but are not limited to: insulation installation methods, thermal breaks, building sealing, water heating and pumping, and artificial lighting requirements. The NCC and NatHERS Heating and Cooling Load Limits (Australian Building Codes Board Standard) are available at [www.abcb.gov.au](http://www.abcb.gov.au).

State and territory variations and additions to the NCC may also apply.



### Thermal performance

<b>Heating</b>	<b>Cooling</b>
<b>6.7</b>	<b>40.6</b>
<b>MJ/m<sup>2</sup></b>	<b>MJ/m<sup>2</sup></b>

### About the rating

NatHERS software models the expected thermal energy loads using information about the design and construction, climate and common patterns of household use. The software does not take into account appliances, apart from the airflow impacts from ceiling fans.

### Verification

To verify this certificate, scan the QR code or visit <https://www.fr5.com.au/QRCodeLanding?PublicId=0KNX59SBY2> When using either link, ensure you are visiting [www.FR5.com.au](http://www.FR5.com.au).





# Nationwide House Energy Rating Scheme — Class 2 summary

## NatHERS Certificate No. S3XNDIBG3T

Generated on 17 Feb 2022 using FirstRate5 v5.3.2a

### Property

**Address** 23-29 harvey avenue, moorebank, NSW,  
2170

**Lot/DP**

**NatHERS climate zone**

### Accredited assessor



Nermein Loka

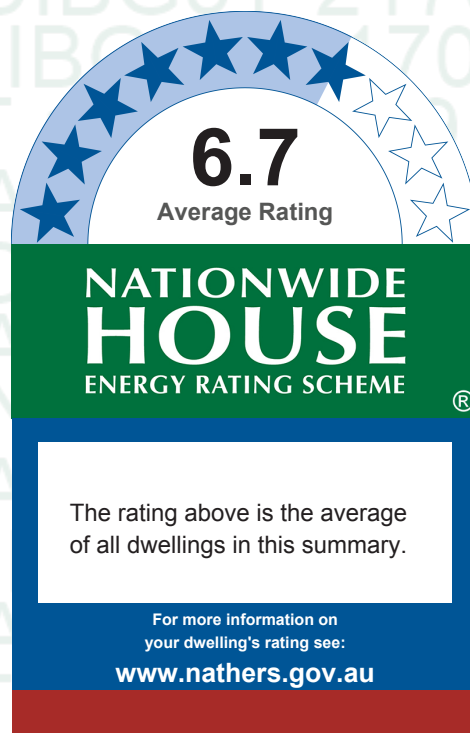
Loka Consulting Engineers

info@lceng.com.au

80659689

**Accreditation No.** 101399

**Assessor Accrediting Organisation** ABSA



### Verification

To verify this certificate, scan the QR code or visit

<https://www.fr5.com.au/QRCodeLanding?PublicId=S3XNDIBG3T&GrpCert=1> When using either link, ensure you are visiting [www.fr5.com.au](http://www.fr5.com.au).

### Summary of all dwellings

Certificate number and link	Unit number	Heating load (MJ/m <sup>2</sup> /p.a.)	Cooling load (MJ/m <sup>2</sup> /p.a.)	Total load (MJ/m <sup>2</sup> /p.a.)	Star rating
YRL18UV1Y3	UNIT 1.01	31.9	35.7	67.6	6.9
ZVP688E9MH	UNIT 1.02	23.5	58.5	82	6.3
POXV0YPKY2	UNIT 1.03	52.6	57.4	110	5.1
XQ3MXKF9TB	UNIT 1.04	42	23.7	65.7	7
3K20IW9V9T	UNIT 1.05	6	36.1	42.1	8.1
D6F68K30BK	UNIT 1.06	59.7	54.5	114.2	4.9
FLD5GI2DJY	UNIT 1.07	59.5	53	112.5	4.9

*Continued over*

### National Construction Code (NCC) requirements

The NCC's requirements for NatHERS-rated houses are detailed in 3.12.0(a)(i) and 3.12.5 of the NCC Volume Two. For apartments the requirements are detailed in J0.2 and J5 to J8 of the NCC Volume One.

In NCC 2019, these requirements include minimum star ratings and separate heating and cooling load limits that need to be met by buildings and apartments through the NatHERS assessment. Requirements additional to the NatHERS assessment that must also be satisfied include, but are not limited to: insulation installation methods, thermal breaks, building sealing, water heating and pumping, and artificial lighting requirements. The NCC and NatHERS Heating and Cooling Load Limits (Australian Building Codes Board Standard) are available at [www.abcb.gov.au](http://www.abcb.gov.au).

State and territory variations and additions to the NCC may also apply.

Principal Author: Michael Moutrie
Reviewed: Howard Moutrie

Issue.	Revision	Date
-	Original for DA issued	16-02-2022



# report

## **Statement of Compliance Access for People with a Disability**

### **Proposed Residential Development**

**23-29 Harvey Ave Moorebank**

#### **Accessible Building Solutions**

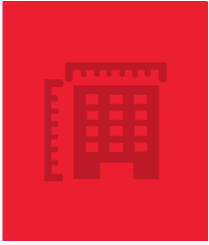
124 Upper Washington Drive  
Bonnet Bay NSW 2226

P (office) 0415 255 163

P (Howard) 0414 876 539

P (Michael) 0450 334 995

E [michael@absaccess.com.au](mailto:michael@absaccess.com.au)



# BCA Assessment Report

23-29 Harvey Avenue, Moorebank



<b>Project:</b>	23-29 Harvey Avenue, Moorebank
<b>Reference No:</b>	114218-BCA-r1
<b>Date:</b>	28 January 2022
<b>Client:</b>	D.R Design (NSW) Pty Ltd
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