

	DRAWING LIST	
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0 - GENERA	L	
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DA-0-002	PROJECT SUMMARY	D
1 - SITE		
DA-0-111	SITE PLAN	В
2 - PLANS		
DA-0-209	BASEMENT 2	F
DA-0-210	BASEMENT 1	F
DA-0-211	GROUND FLOOR PLAN	G
DA-0-212	LEVEL 1 FLOOR PLAN	G
DA-0-213	LEVEL 2 FLOOR PLAN	G
DA-0-214	LEVEL 3 FLOOR PLAN	G
DA-0-215	LEVEL 4 FLOOR PLAN	G
DA-0-216	LEVEL 5 FLOOR PLAN	G
DA-0-217	COMMUNAL OPEN SPACE PLAN	F
DA-0-218	ROOF FLOOR PLAN	D
3 - ELEVATI	ONS	
DA-0-301	NORTH ELEVATION	F
DA-0-302	SOUTH ELEVATION	F
DA-0-303	WEST ELEVATION	F
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4 - SECTION	NS	
DA-0-401	SECTION A-A	В
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7 - ADAPTA	BLE APATMENT	
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9 - DIAGRA	MS & SCHEDULES	
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DA-0-902	AFFORDABLE UNIT AND CAR SPACE	А
DA 0 011	SCHEDULE	-
DA-0-911		С
DA-0-921	18m HEIGHT PLANE DIAGRAM	F
DA-0-931	DEEP SOIL DIAGRAM	E
DA-0-951	SHADOW ANALYSIS - SHEET 1	C
DA-0-961	VIEWS FROM SUN-SHEET 1	D
DA-0-962	VIEWS FROM SUN-SHEET 2	D
DA-0-963	VIEWS FROM SUN-SHEET 3	D
DA-0-964	VIEWS FROM SUN- SHEET 4	D

DA-0-965 VIEWS FROM SUN- SHEET 5

Moorebank

23-29 Harvey Ave, MOOREBANK

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Dickson Rothschild D.R. Design (NSW) Pty. Ltd. 65-69 Kent St, Millers Point, Sydney, NSW 2000 ABN: 35 134 237 540 Phone: +61 2 8540 8720 Nominated Architects: Robert Nigel Dickson NSW ARB #5364 Fergus William Cumming NSW ARB #7233

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Е	ISSUE FOR \$4.55	08/02/2022	AY	FC
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 REVISION
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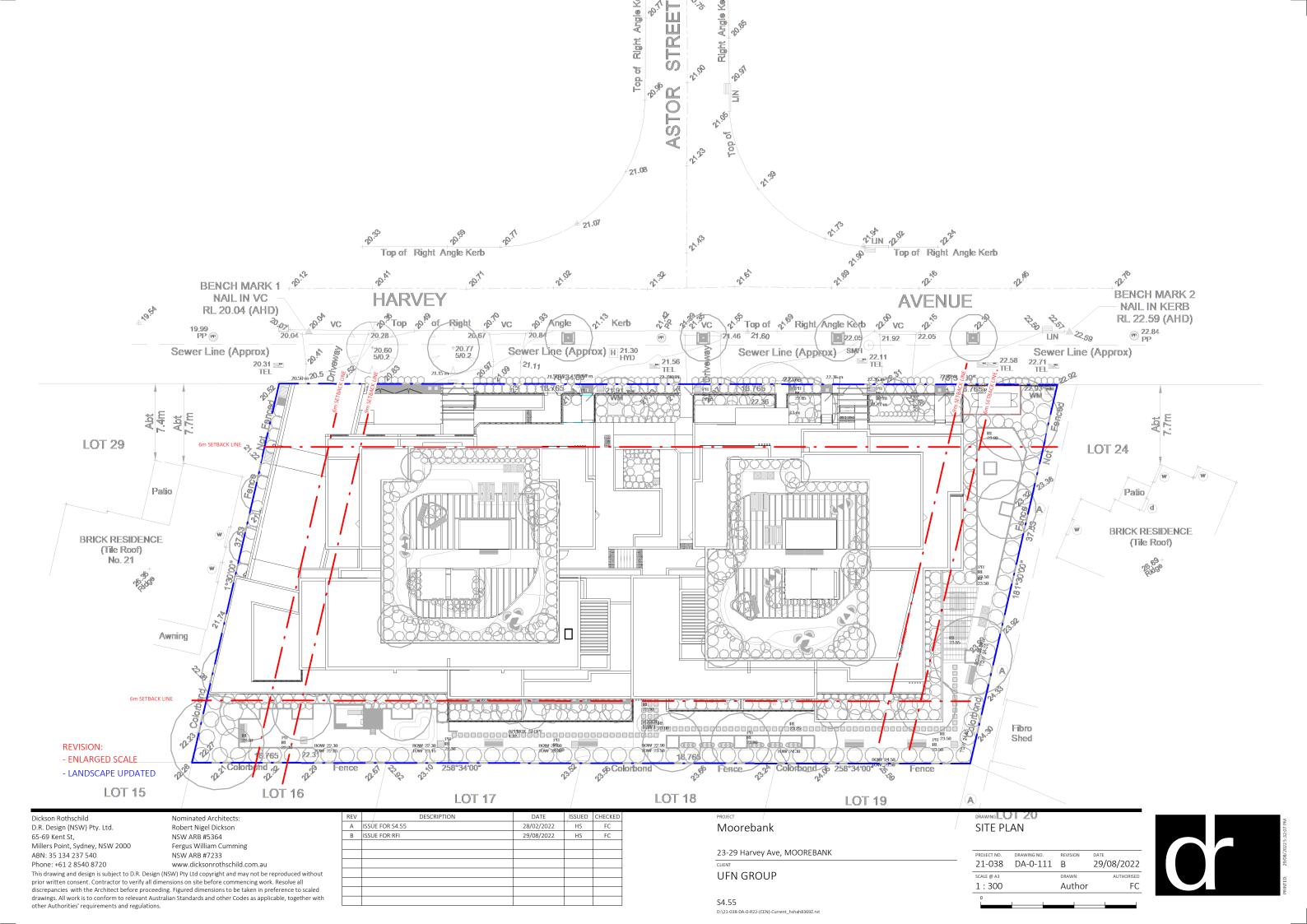
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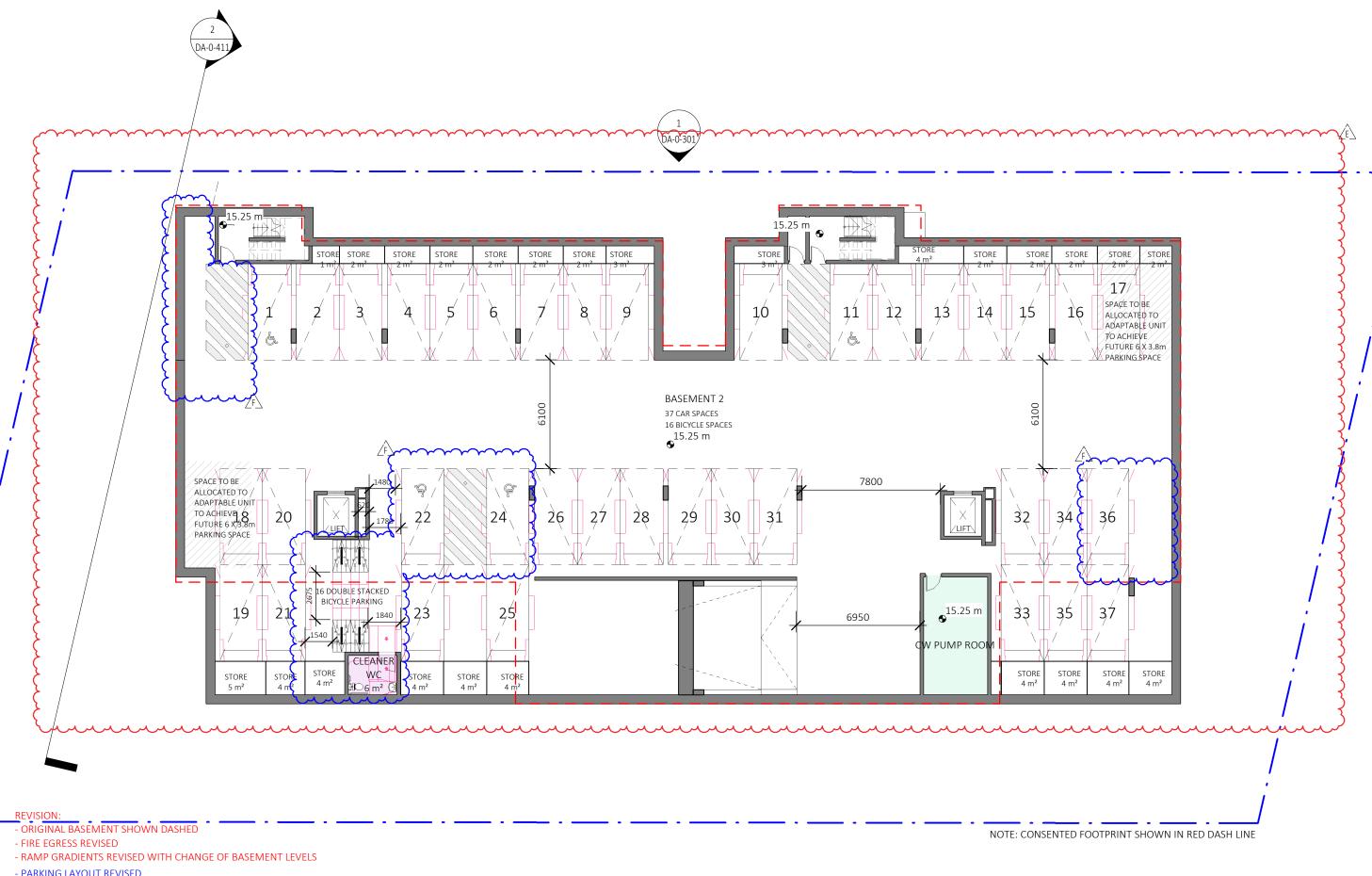
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COVER SHEET







- PARKING LAYOUT REVISED
- CLEANER WC RELOCATED

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F	ISSUE FOR RFI	29/08/2022	HS	FC

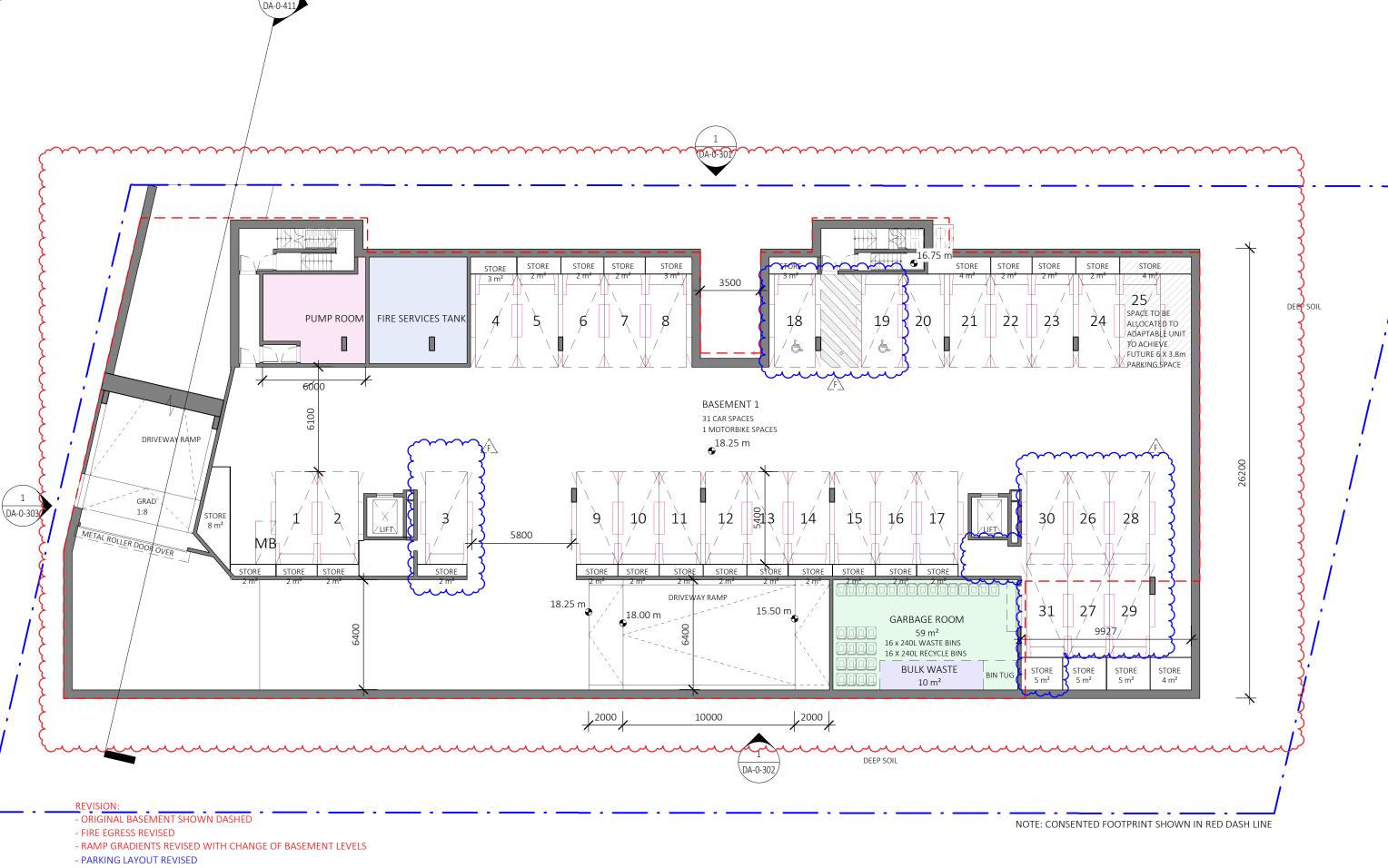


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Moorebank 23-29 Harvey Ave, MOOREBANK **UFN GROUP**

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- CLEANER WC RELOCATED

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Phone: +61 2 8540 8720

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Е	ISSUE FOR S4.55	08/02/2022	AY	FC
F	ISSUE FOR RFI	29/08/2022	HS	FC



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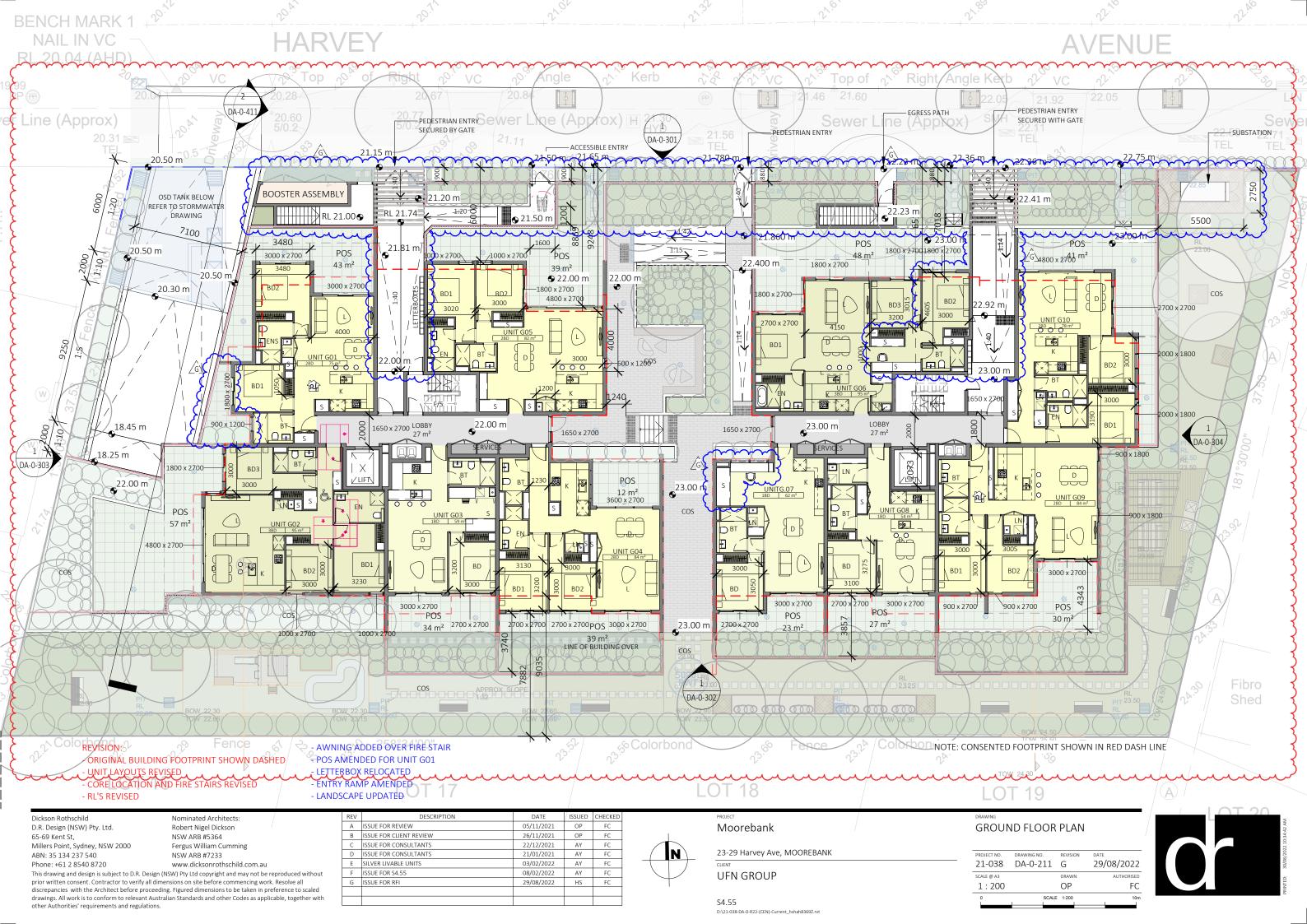
23-29 Harvey Ave, MOOREBANK

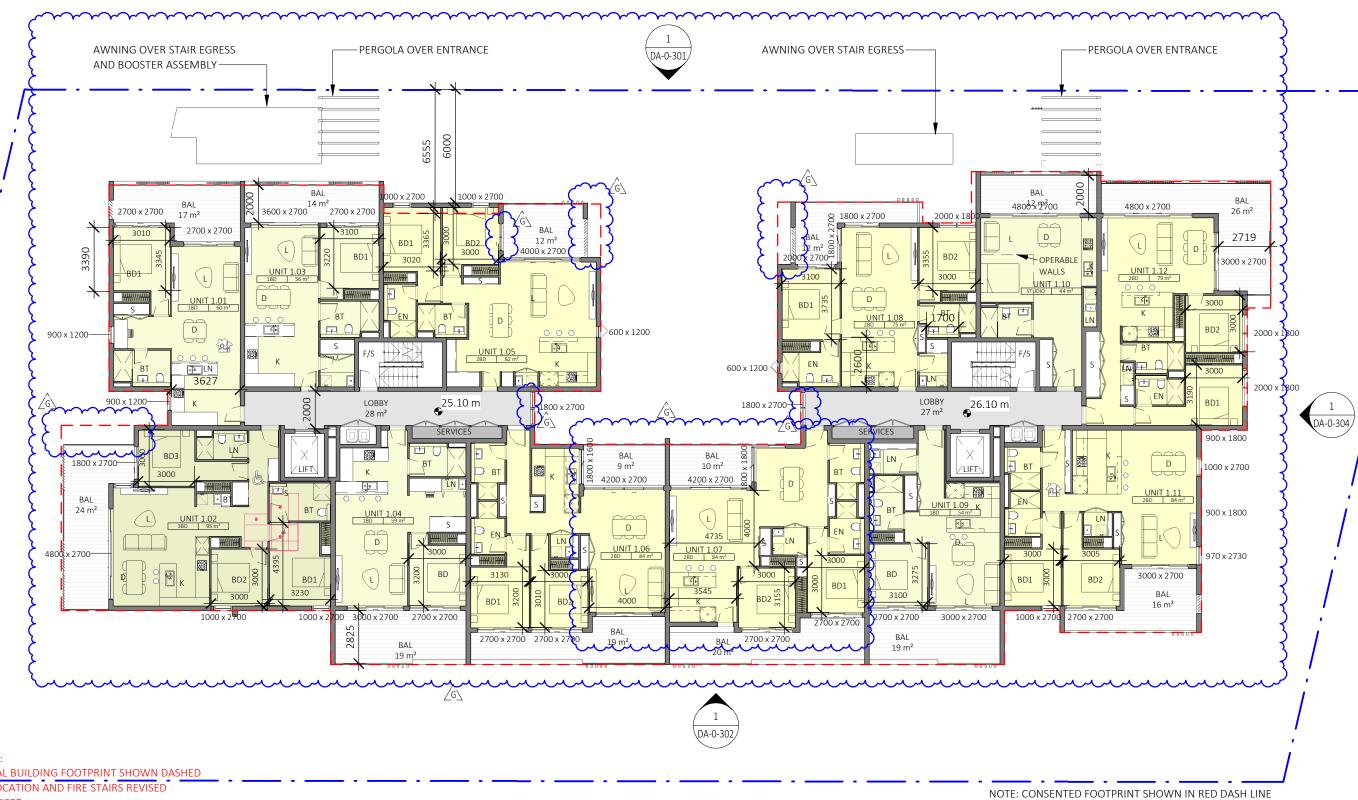
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BASEM	ENT 1		
PROJECT NO. 21-038	DRAWING NO.	REVISION F	DATE 29/08/2022
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DA-0-303

- ORIGINAL BUILDING FOOTPRINT SHOWN DASHED

- CORE LOCATION AND FIRE STAIRS REVISED
- WINDOWS ADDED TO LOBBY
- DOOR ADDED TO UNIT 1.05 BALCONY
- ADDED BEDROOM DIMENSIONS
- UNIT LAYOUTS AND BALCONY REVISED

Dickson Rothschild D.R. Design (NSW) Pty. Ltd. 65-69 Kent St, Millers Point, Sydney, NSW 2000

Robert Nigel Dickson NSW ARB #5364

Fergus William Cumming ABN: 35 134 237 540 NSW ARB #7233 Phone: +61 2 8540 8720 www. dicks on roth schild. com. au

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D	ISSUE FOR CONSULTANTS	21/01/2021	AY	FC
E	SILVER LIVABLE UNITS	03/02/2022	AY	FC
F	ISSUE FOR S4.55	08/02/2022	AY	FC
G	ISSUE FOR RFI	29/08/2022	HS	FC

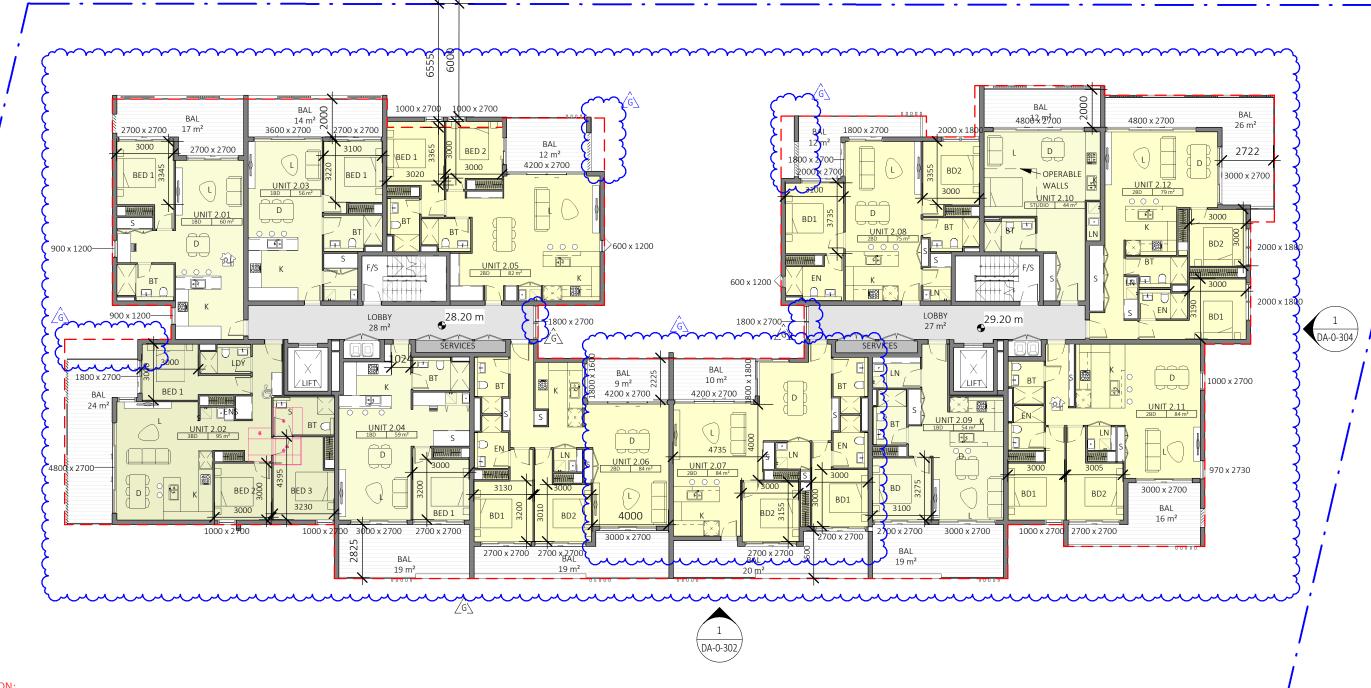


LEVEL 1 FLOOR PLAN Moorebank 23-29 Harvey Ave, MOOREBANK

21-038 DA-0-212 G 29/08/2022 **UFN GROUP** SCALE @ A3 OP FC 1:200 SCALE 1:200







DA-0-303

- ORIGINAL BUILDING FOOTPRINT SHOWN DASHED
- CORE LOCATION AND FIRE STAIRS REVISED
- RL'S REVISED
- WINDOWS ADDED TO LOBBY
- ADDED BEDROOM DIMENSIONS
- UNIT LAYOUTS AND BALCONY REVISED

Dickson Rothschild D.R. Design (NSW) Pty. Ltd. 65-69 Kent St, Millers Point, Sydney, NSW 2000

ABN: 35 134 237 540

Robert Nigel Dickson NSW ARB #5364 Fergus William Cumming NSW ARB #7233

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Γ	Е	SILVER LIVABLE UNITS	03/02/2022	AY	FC
	F	ISSUE FOR S4.55	08/02/2022	AY	FC
	G	ISSUE FOR RFI	29/08/2022	HS	FC
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NOTE: CONSENTED FOOTPRINT SHOWN IN RED DASH LINE

LEVEL 2 FLOOR PLAN







DA-0-303

- UNIT LAYOUTS REVISED
- CORE LOCATION AND FIRE STAIRS REVISED
- RL'S REVISED
- ADDED BEDROOM DIMENSIONS

- RISERS AND AREAS ADJUSTED

- BALCONY REVISED Dickson Rothschild

D.R. Design (NSW) Pty. Ltd. 65-69 Kent St,

Millers Point, Sydney, NSW 2000 ABN: 35 134 237 540

NSW ARB #7233 Phone: +61 2 8540 8720 www. dicks on roth schild. com. au

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Nominated Architects:

Fergus William Cumming

Robert Nigel Dickson NSW ARB #5364

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D	ISSUE FOR CONSULTANTS	21/01/2021	AY	FC
Е	ISSUE FOR S4.55	08/02/2022	AY	FC
F	ISSUE FOR RFI	29/08/2022	HS	FC
G	ISSUE FOR RFI	08/06/2023	AY	ND



Moorebank	LEVEL 3 FLOOR PL			
23-29 Harvey Ave, MOOREBANK	PROJECT NO.	DRAWING NO.	REVISION	
CLIENT	21-038	DA-0-214	G	
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- CORE LOCATION AND FIRE STAIRS REVISED
- RL'S REVISED
- ADDED BEDROOM DIMENSIONS - BALCONY REVISED

- RISERS AND AREAS ADJUSTED

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Robert Nigel Dickson

NSW ARB #5364

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Е	ISSUE FOR \$4.55	08/02/2022	AY	FC
F	ISSUE FOR RFI	29/08/2022	HS	FC
G	ISSUE FOR RFI	08/06/2023	AY	ND



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23-29 Harvey Ave

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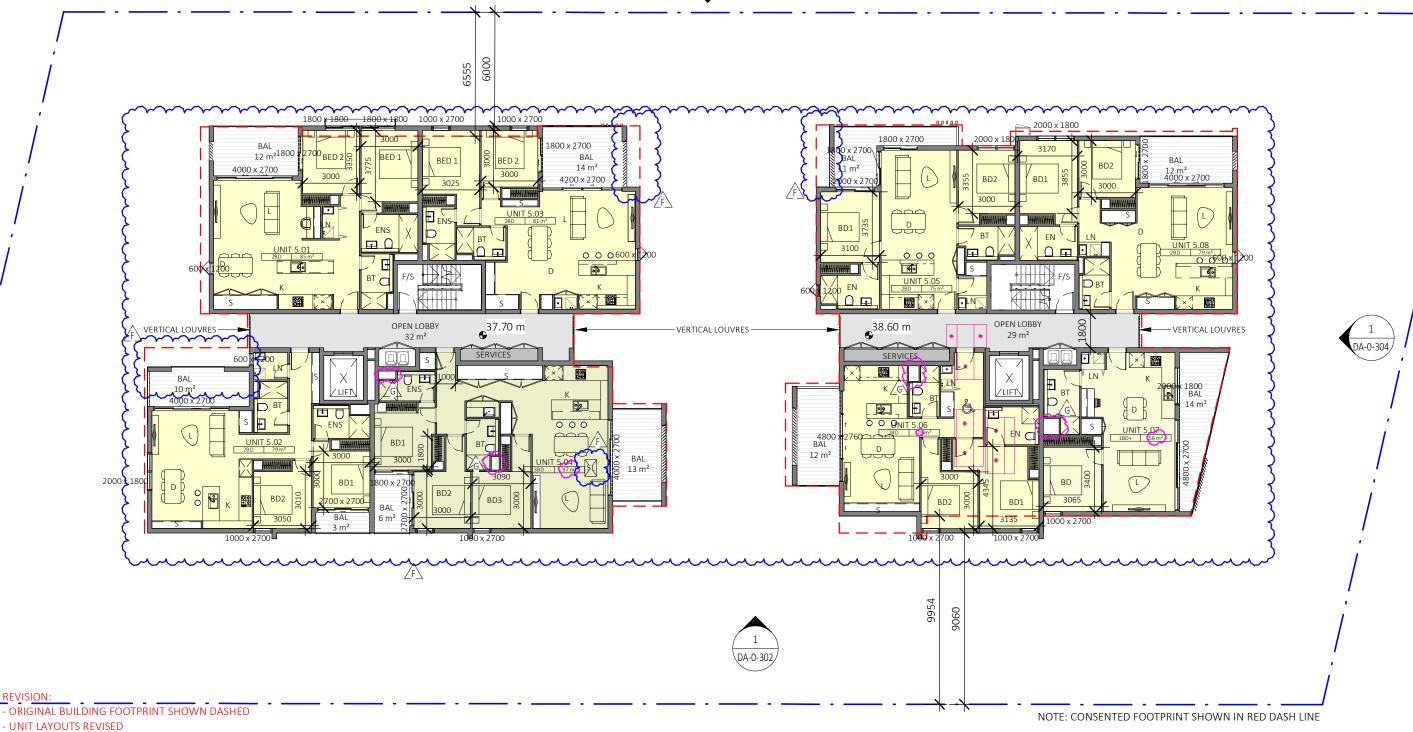
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ve, MOOREBANK	PROJECT NO.	DRAWING NO.	REVISION	DATE
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LEVEL 4 FLOOR PLAN







DA-0-303

- CORE LOCATION AND FIRE STAIRS REVISED
- RL'S REVISED
- ADDED BEDROOM DIMENSIONS - ADDED SKYLIGHT TO UNIT 5.04 - RISERS AND AREAS ADJUSTED

- BALCONY REVISED

Dickson Rothschild D.R. Design (NSW) Pty. Ltd. Robert Nigel Dickson 65-69 Kent St, NSW ARB #5364 Fergus William Cumming

Millers Point, Sydney, NSW 2000 ABN: 35 134 237 540

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23-29 Harvey Ave, MOOREBANK

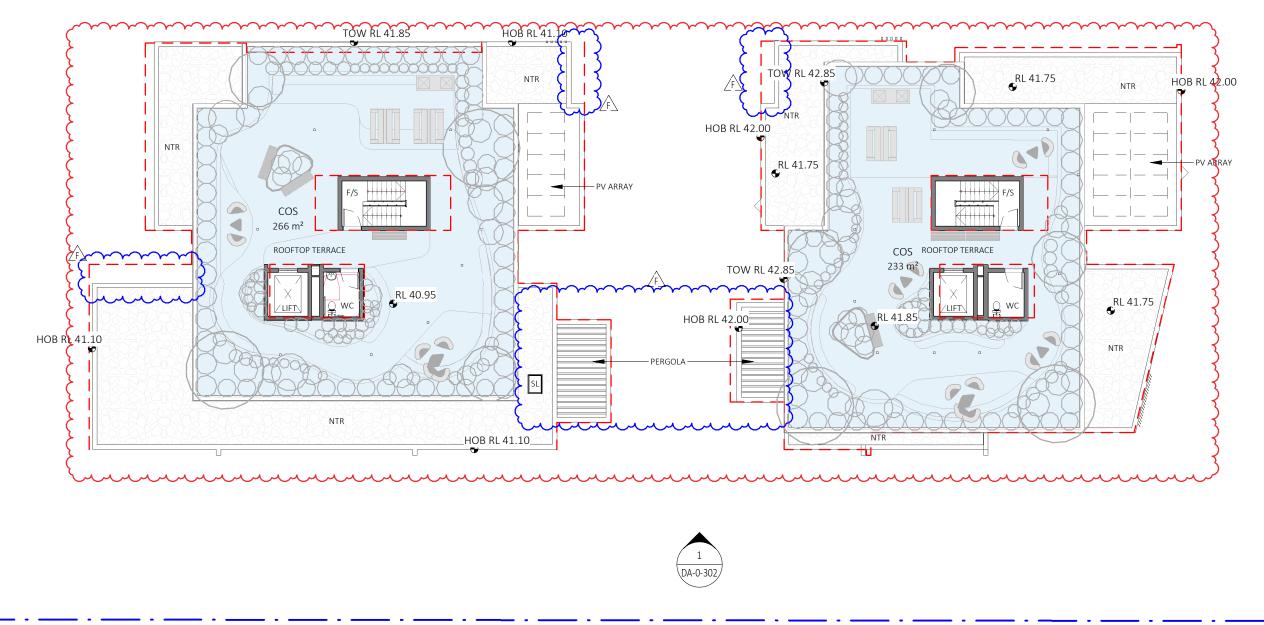
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LEVEL 5 FLOOR PLAN

SCALE 1:200

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DA-0-303

- ORIGINAL BUILDING FOOTPRINT SHOWN DASHED
- CORE LOCATION AND FIRE STAIRS REVISED
- ROOFTOP WC REVISED
- PV ARRAY LOCATION SHOWN
- RL'S REVISED

Dickson Rothschild Nominated Architects: D.R. Design (NSW) Pty. Ltd. Robert Nigel Dickson NSW ARB #5364 65-69 Kent St,

Millers Point, Sydney, NSW 2000 Fergus William Cumming NSW ARB #7233 ABN: 35 134 237 540 Phone: +61 2 8540 8720 www.dicksonrothschild.com.au

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F	ISSUE FOR RFI	29/08/2022	HS	FC

- ADDED SKYLIGHT TO UNIT 5.04

- ADDED PERGOLA TO BALCONY

- LANDSCAPE UPDATED



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Moorebank 23-29 Harvey Ave, MOOREBANK **UFN GROUP**

21-038 DA-0-217 F 29/08/2022 SCALE @ A3 ΑY FC 1:200 SCALE 1:200

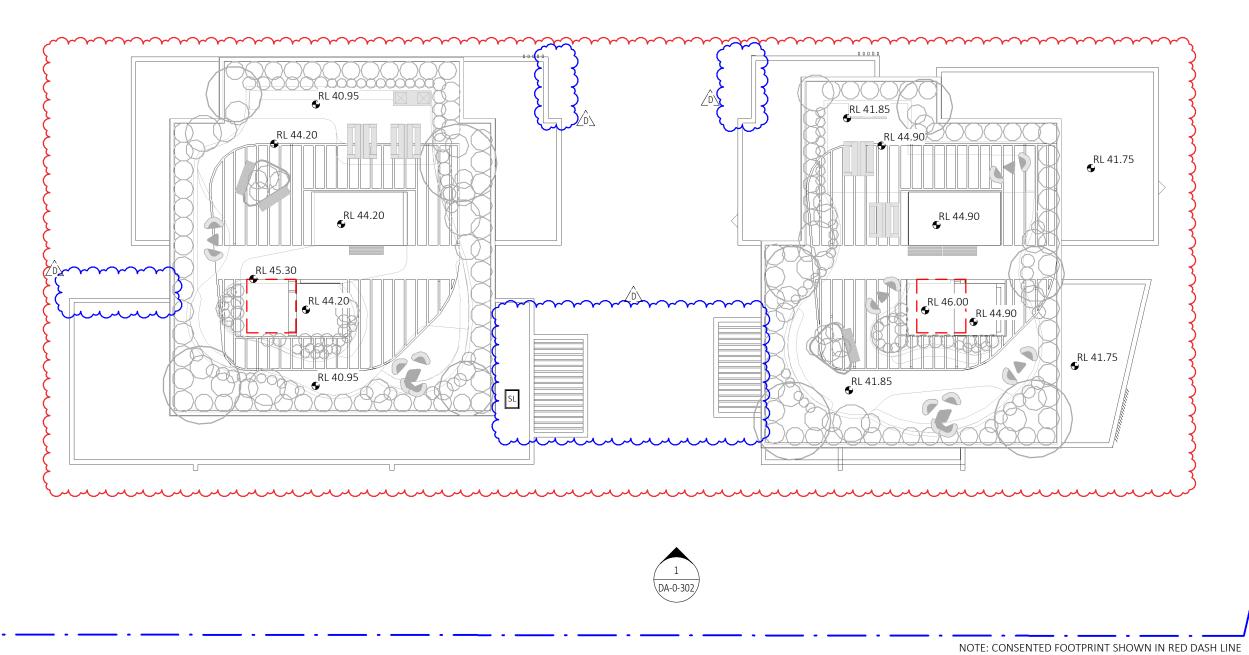
COMMUNAL OPEN SPACE PLAN



DA-0-304/

NOTE: CONSENTED FOOTPRINT SHOWN IN RED DASH LINE





DA-0-303

- ORIGINAL LIFT LCOATION SHOWN DASHED

- RL'S REVISED

- LANDSCAPE UPDATED

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D	ISSUE FOR RFI	29/08/2022	HS	FC



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ROOF FLOOR PLAN



DA-0-304/

29/08/2022



- FLOOR TO FLOOR LEVELS INCREASED FROM 3050 TO AT LEAST 3100
- MATERIALS AND FENCE REVISED
- GATE ADDED TO POS

Dickson Rothschild	Nominated Architects:	REV DESCRIPTION	DATE	ISSUED CHECKED	PROJECT	DRAWING
D.R. Design (NSW) Pty. Ltd.	Robert Nigel Dickson	A ISSUE FOR REVIEW	05/11/2021	OP FC	Moorebank	NORTH ELEVATION
65-69 Kent St,	NSW ARB #5364	B ISSUE FOR CLIENT REVIEW	26/11/2021	OP FC	Wisconsista	11011111 222 77111011
Millers Point, Sydney, NSW 2000	Fergus William Cumming	C ISSUE FOR CONSULTANTS	22/12/2021	AY FC		
ABN: 35 134 237 540	NSW ARB #7233	D ISSUE FOR CONSULTANTS	21/01/2021	AY FC	23-29 Harvey Ave, MOOREBANK	PROJECT NO. DRAWING NO. REVISION DATE
Phone: +61 2 8540 8720	www.dicksonrothschild.com.au	E ISSUE FOR \$4.55	08/02/2022	AY FC	CLIENT	21-038 DA-0-301 F 29/08/2022
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	ll dimensions on site before commencing work. Resolve all ceeding, Figured dimensions to be taken in preference to scaled				OTTV GROOT	1:200 OP FC
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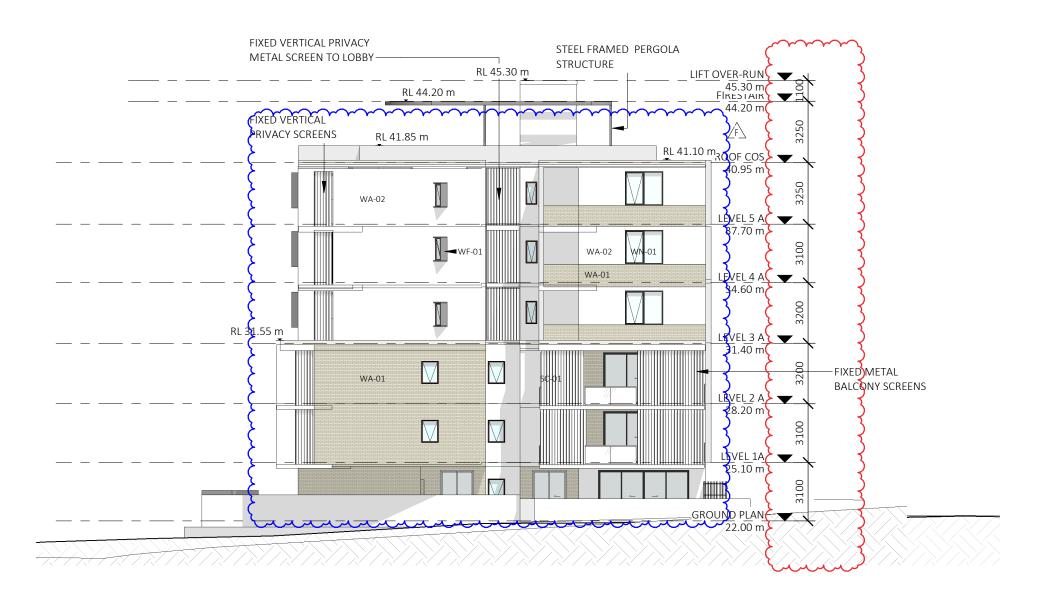




- FLOOR TO FLOOR LEVELS INCREASED FROM 3050 TO AT LEAST 3100
- MATERIALS REVISED

Dickson Rothschild	Nominated Architects:	REV DESCRIPTION	DATE	ISSUED	CHECKE	PROJECT	DRAWING		
D.R. Design (NSW) Pty. Ltd.	Robert Nigel Dickson	A ISSUE FOR REVIEW	05/11/2021	OP	FC	Moorebank	SOUTH	ELEVATION	
65-69 Kent St,	NSW ARB #5364	B ISSUE FOR CLIENT REVIEW	26/11/2021	OP	FC	, , , , , , , , , , , , , , , , , , ,	200		
Millers Point, Sydney, NSW 2000	Fergus William Cumming	C ISSUE FOR CONSULTANTS	22/12/2021	AY	FC				
ABN: 35 134 237 540	NSW ARB #7233	D ISSUE FOR CONSULTANTS	21/01/2021	AY	FC	23-29 Harvey Ave, MOOREBANK	PROJECT NO.	DRAWING NO. REVISION	DATE
Phone: +61 2 8540 8720	www.dicksonrothschild.com.au	E ISSUE FOR S4.55	08/02/2022	AY	FC	CLIENT	21-038	DA-0-302 F	29/08/2022
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	Australian Standards and other Codes as applicable, together with					\$4.55	0		





- FLOOR TO FLOOR LEVELS INCREASED FROM 3050 TO AT LEAST 3100
- MATERIALS REVISED

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CLIENT
UFN GROUP
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WEST ELEVATION

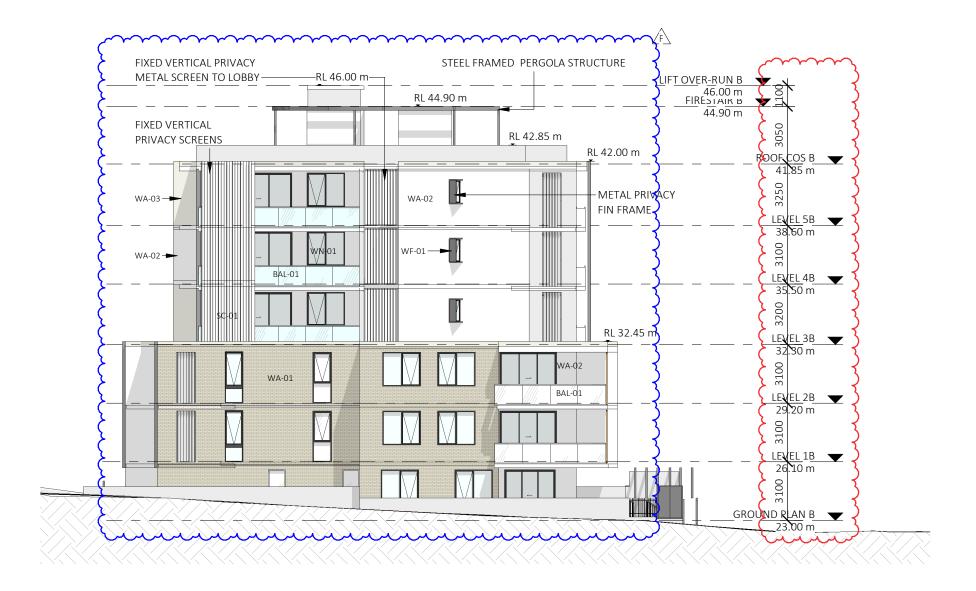
21-038 DA-0-303 F

OP

SCALE @ A3

1:200





- FLOOR TO FLOOR LEVELS INCREASED FROM 3050 TO AT LEAST 3100
- MATERIALS REVISED

Dickson Rothschild
D.R. Design (NSW) Pty. Ltd.
65-69 Kent St,
Millers Point, Sydney, NSW 2000
ABN: 35 134 237 540
Phone: +61 2 8540 8720

Nominated Architects: Robert Nigel Dickson NSW ARB #5364 Fergus William Cumming NSW ARB #7233

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	other Authorities' requirements and regulations.		_

REV	DESCRIPTION	DATE	ISSUED	CHECKED	
Α	ISSUE FOR REVIEW	05/11/2021	OP	FC	
В	ISSUE FOR CLIENT REVIEW	26/11/2021	OP	FC	
С	ISSUE FOR CONSULTANTS	22/12/2021	AY	FC	
D	ISSUE FOR CONSULTANTS	21/01/2021	AY	FC	
Е	ISSUE FOR S4.55	08/02/2022	AY	FC	
F	ISSUE FOR RFI	29/08/2022	HS	FC	

PROJECT
Moorebank
23-29 Harvey Ave, MOOREBANK
CLIENT
UFN GROUP
\$4.55

EASTE	LEVATION		
PROJECT NO. 21-038	DRAWING NO.	REVISION F	DATE 29/08/2022
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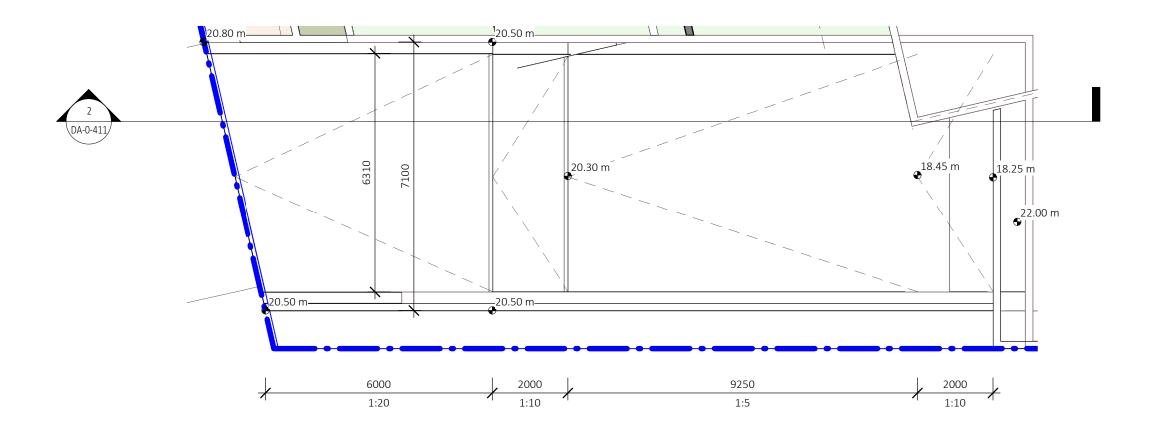


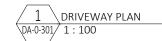


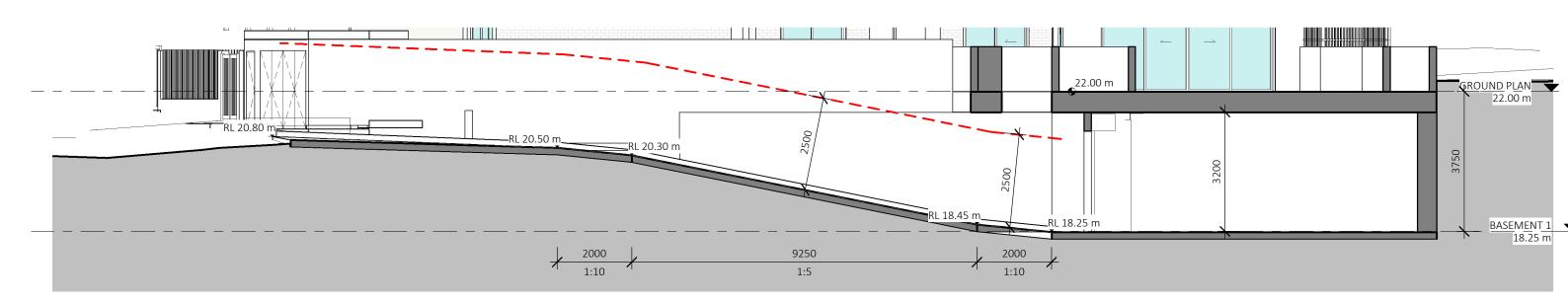
- FLOOR TO FLOOR LEVELS INCREASED FROM 3050 TO AT LEAST 3100
- ROOOM LAYOUTS UPDATED

Dickson Rothschild	Nominated Architects:	REV DESCRIPTION	DATE	ISSUED CHECKED	PROJECT	DRAWING
D.R. Design (NSW) Pty. Ltd.	Robert Nigel Dickson	A ISSUE FOR CONSULTANTS	21/01/2021	AY FC	Moorebank	SECTION A-A
65-69 Kent St,	NSW ARB #5364	B ISSUE FOR S4.55	08/02/2022	AY FC		020110117111
Millers Point, Sydney, NSW 2000 ABN: 35 134 237 540	Fergus William Cumming NSW ARB #7233				23-29 Harvey Ave, MOOREBANK	PROJECT NO. DRAWING NO. REVISION DATE
Phone: +61 2 8540 8720	www.dicksonrothschild.com.au				CLIENT	21-038 DA-0-401 B 08/02/2022
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					\$4.55	0









DRIVEWAY ENTRY 1:100

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Phone: +61 2 8540 8720

Nominated Architects: Robert Nigel Dickson NSW ARB #5364

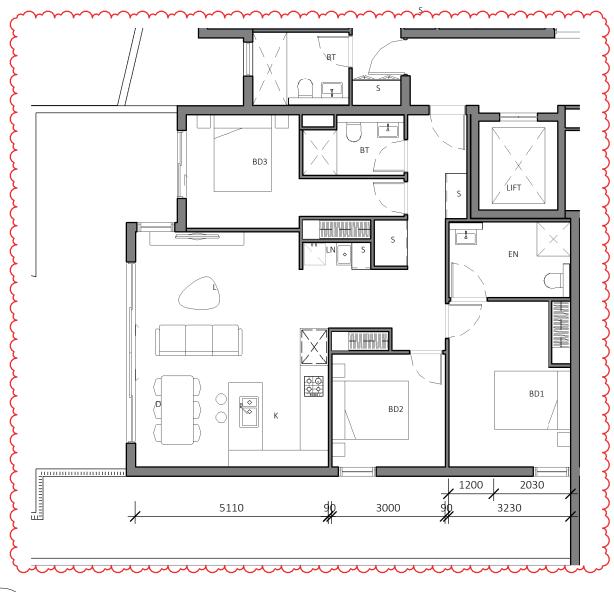
Fergus William Cumming NSW ARB #7233

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Α	ISSUE FOR CONSULTANTS	21/01/2021	AY	FC
В	ISSUE FOR S4.55	08/02/2022	AY	FC
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PROJECT
Moorebank
23-29 Harvey Ave, MOOREBANK
CLIENT
UFN GROUP
\$4.55

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DA-0-411	REVISION B	DATE 08/02/2022		
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G02, 102, 202 Pre-Adaptable DA-0-301/1:100

G02, 102, 202 Post-Adaptable DA-0-301/1:100

S4.55

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REVISION:

- PRE AND POST ADAPTABLE UNIT LAYOUTS REVISED

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С	ISSUE FOR CONSULTANTS	22/12/2021	AY	FC
D	ISSUE FOR CONSULTANTS	21/01/2021	AY	FC
E	REVISED ADAPTABLE UNITS	02/02/2022	AY	FC
F	ISSUE FOR S4.55	08/02/2022	AY	FC

PROJECT
Moorebank
23-29 Harvey Ave, MOOREBANK
CLIENT
UFN GROUP

DAPTABLE UNIT- SHEET 1					
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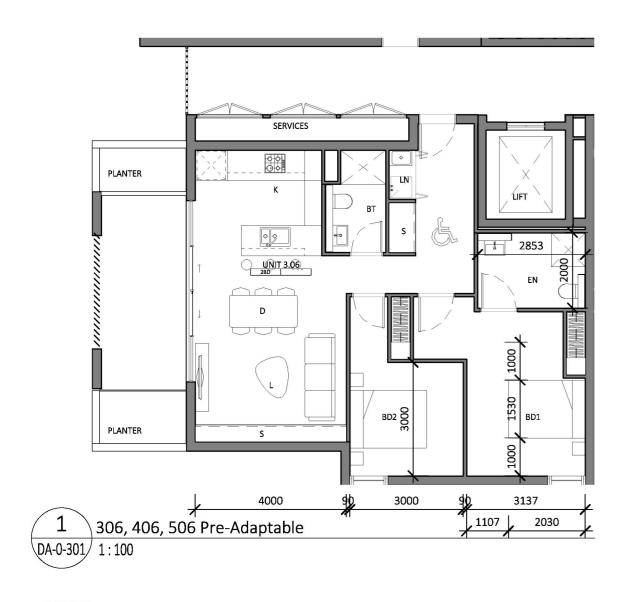
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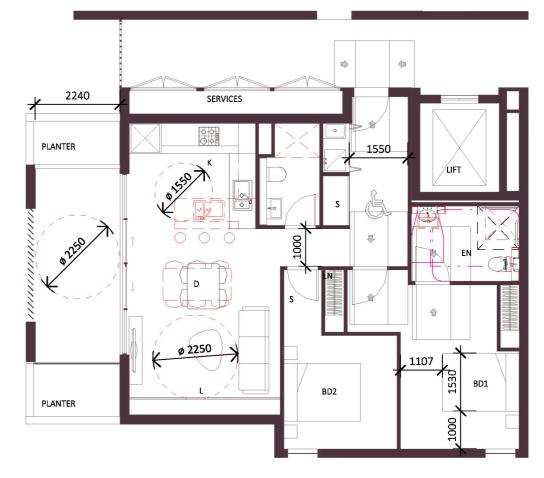
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306, 406, 506 Post-Adaptable DA-0-301/1:100

REVISION:

- PRE AND POST ADAPTABLE UNIT LAYOUTS REVISED

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D	ISSUE FOR CONSULTANTS	21/01/2021	AY	FC
E	REVISED ADAPTABLE UNITS	02/02/2022	AY	FC
F	ISSUE FOR \$4.55	08/02/2022	AY	FC



Moorebank

23-29 Harvey Ave, MOOREBANK

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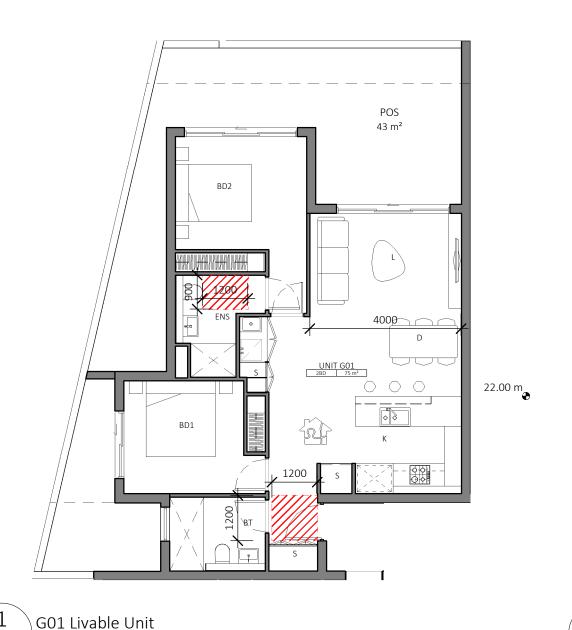
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ADAPTABLE UNIT- SHEET 2









101, 201 Livable Unit \DA-0-301 \1:100

G09, 111, 211 Livable Unit DA-0-301 1:100

LIVABLE UNITS

SCALE @ A3

1:100

21-038 DA-0-711 B

ΑY

REVISION:

- NEW DRAWING

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DA-0-301 1:100

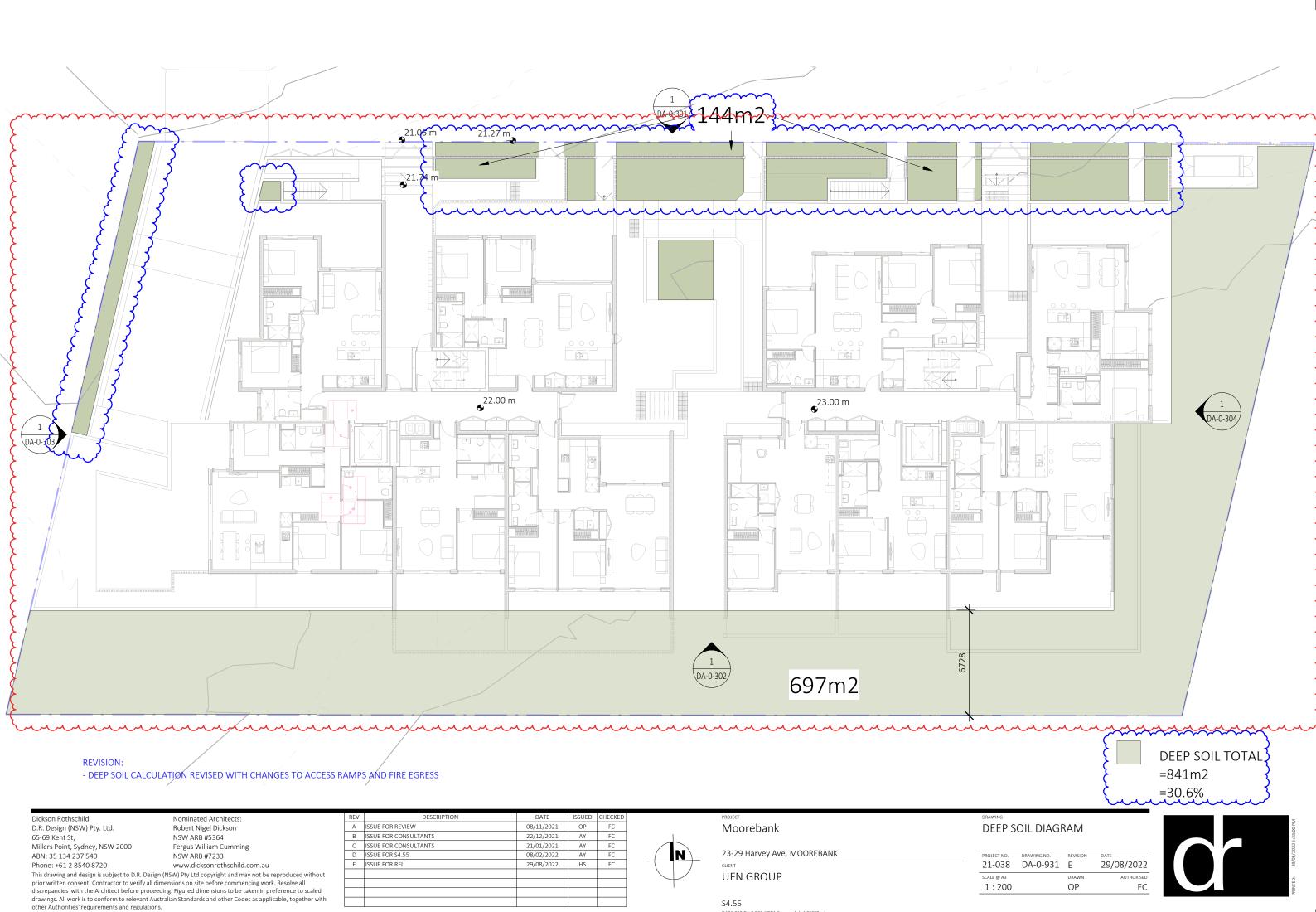
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DESCRIPTION A SILVER LIVABLE UNITS 03/02/2022 AY FC B ISSUE FOR S4.55 08/02/2022 AY FC

PROJECT
Moorebank
23-29 Harvey Ave, MOOREBANK
CLIENT
UFN GROUP
\$4.55
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EFE	ELEVATION NOTATION	ELEMENT	MATERIAL	FINISH
2112	& BALUSTRADES			
1		EXTERNAL WALL	BRICK VENEER	BOWRAL BROWN OR SIMILAR
2	WA-01 WA-02	EXTERNAL WALL EXTERNAL WALL	BRICK VENEER RENDER AND PAINT	BÓWRÁL BRÓWN OR SIMILÁR DÚLÚX BÚFF IT QUARTER
3	WA-03	EXTERNAL WALL	RENDER AND PAINT	DULUX NAMADJI
NDO	UNS & DOORS			
4	WF-01	WINDOW FINS	POWDERCOATED ALUMINIUM	DURATEC MONUMENT MATT
5	WN-01	WINDOW AND DOOR FRAMES	POWDERCOATED ALUMINIUM , CLEAR GLASS	DURATEC MONUMENT MATT
6	BAL-01	BALUSTRADES	POWDERCOATED ALUMINIUM, CLEAR GLASS	DURATEC MONUMENT MATT
OF I	 FEATURES			
7	SC-01	BALCONY SCREENS	POWDERCOATED ALUMINIUM	DURATEC TIMBERLAND SATIN
& <u>~</u>	EF01	METAL FENCES METAL GATE	ROWBERCOATED ALUMINIUM POWDERCOATED ALUMINIUM	DURATEC MONUMENT MATT DULUX BUFFIT QUARTER Y
		2,9	3	4, 5, 6, 8

- COLOURS REVISED

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В	ISSUE FOR S4.55	08/02/2022	AY	FC	
С	ISSUE FOR RFI	29/08/2022	HS	FC	

Moorebank

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23-29 Harv

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ebank	EXTERNAL FINISHES &			
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APPROVED LANDSCAPE PLANS

NEW WORK IN THIS AREA.

TREES

STREET TREES

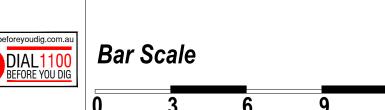
Pot size:

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LANDSCAPE ARCHITEC

AMMERAY NSW 2062 Phone: 9922 5312 Fax: 8209 4982 enquiries@conzept.net.au

REV DATE NOTATION/AMENDMENT A 30.8.2022 Preliminary plan prepared for review LIVERPOOL B 15.2.2022 Coordinate with SW drawings C 26.08.2022 Coordinate with amended architectural plan & council's comments UFN GROUP

PROPOSED RESIDENTIAL DEVELOPMENT 23-29 HARVEY AVE MOOREBANK

LANDSCAPE PLAN SECTION 4.55 [GROUND FLOOR] 1:150 @ A1 AUGUST 2022 CHECKED:

LPS4.55 19 - 10

R.H

R.F

LEGEND & SCHEDULE

1. ALL FINAL PLANT QUANTITIES INDICATED ON PLANS SHALL BE CHECKED AND VERIFIED BY SUCCESSFUL LANDSCAPE CONTRACTOR. 2. ANY PLANT SUBSTITUTES REQUIRED DUE TO UNAVAILABILITY SHALL BE RECOMMENDED BY THE LANDSCAPE CONTRACTOR TO BEST MATCH SUBSTITUTED

PLANTS AND APPROVED PRIOR TO PURCHASING BY THE LANDSCAPE ARCHITECT. 3. WORKS CERTIFIED FOR FINAL OCCUPANCY CERTIFICATE ARE TO MATCH APPROVED LANDSCAPE PLANS

4. LANDSCAPE CONTRACTOR SHALL LOCATE AND AVOID SITE STORM WATER & DRAINAGE SERVICES. LOCATE TREES A MINIMUM 1.25M FROM PITS 5. ALL PLANTING AROUND EXISTING TREES SHALL BE ADJUSTED TO AVOID

DAMAGE AND CLASHING WITH SURFACE ROOTS 6. THE NATURE STRIP (STREET FRONTAGE) FOR THE SITE IS PUBLIC LAND. AND ONLY AUTHORIZED WORKS MAY OCCUR HERE. EXISTING CONDITIONS SUCH AS STREET TREES, COUNCIL PLANTING ETC SHALL BE RETAINED AND PROTECTED DURING CONSTRUCTION, UNLESS SPECIFIC APPROVAL HAS BEEN GRANTED FOR NEW WORK IN THIS AREA.

TREES



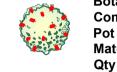
Botanical Name: Banksia serrata Common Name: Old Man Banksia (Native) Pot size:

Mature H x S: 5m x 3m Qty Required: 4

Pot size:

Botanical Name: Plumeria acutifolia Common Name: Frangipani (Exotic) Mature H x S: 5m x 4m Qty Required:

SHRUBS AND HEDGES



Botanical Name: Callistemon 'Macarthur' **Common Name:** Macarthur Bottlebrush (Native) Pot size: **Mature H x S:** 1.8m x 1.5m

Qty Required:

Botanical Name: Westringia 'Aussie Box' Common Name: Westringia Aussie Box (Native)

Mature H x S: 0.9m x 0.9m Qty Required: 52

Botanical Name: Metrosideros 'Tahiti' Common Name: NZ Christmas Bush (Exotic) Mature H x S: 1m x 1m

Qty Required: 43

Botanical Name: Syzygium 'Tiny Trev'

Common Name: Dwarf Lilly Pilly (Native) Mature H x S: 1m x 1m Qty Required:

Botanical Name: Cordyline australis Common Name: Cabbage tree (Native) Pot size: **Mature H x S:** 1.5-2.5m x 1-2.5m Qty Required:

ACCENT PLANTS

Botanical Name: Doryanthes excelsa Common Name: Gymea Lily (Native) **Mature H x S:** 1.1m x 1m

Qty Required: 19 Botanical Name: Strelitzia juncea Common Name: Rush-leaved Strelitzia (Exotic) Pot size:

Mature H x S: 1.5m x 1m Qty Required: **Botanical Name:** Anigozanthos 'Ruby Velvet' Common Name: Kangaroo Paw cvs (Native)

Mature H x S: 0.4m x 0.3m Qty Required:

GRASSES + GROUNDCOVERS

Botanical Name: Dianella tasmanica 'Tasred' Common Name: Tasred Flax Lily (Native) **Mature H x S:** 0.6m x 0.65m Qty Required: 61

200mm

OTHER LANDSCAPE ITEMS

Safety balustrade to comply with BCA & AS standard — — Corten steel planter - refer detail

imber deck - refer detail Retaining / raised planter wall - refer detail

Timber bench fixed on retaining wall

Harbour bench seat - refer detail

specification



Proprietary outdoor furniture to be nom. by client to manufacturer's

Odyssey picnic setting - refer detail



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Westringia 'Aussie Box'









Strelitzia juncea



Suit 101, 506 Miller Street, AMMERAY NSW 2062 Phone: 9922 5312 Fax: 8209 4982

NOTATION/AMENDMENT COUNCIL A 30.8.2022 Preliminary plan prepared for review LIVERPOOL B 15.2.2022 Coordinate with SW drawings C 26.08.2022 Coordinate with amended architectural plan & council's comments **UFN GROUP**

PROPOSED RESIDENTIAL DEVELOPMENT 23-29 HARVEY AVE

any direction.

maintained.

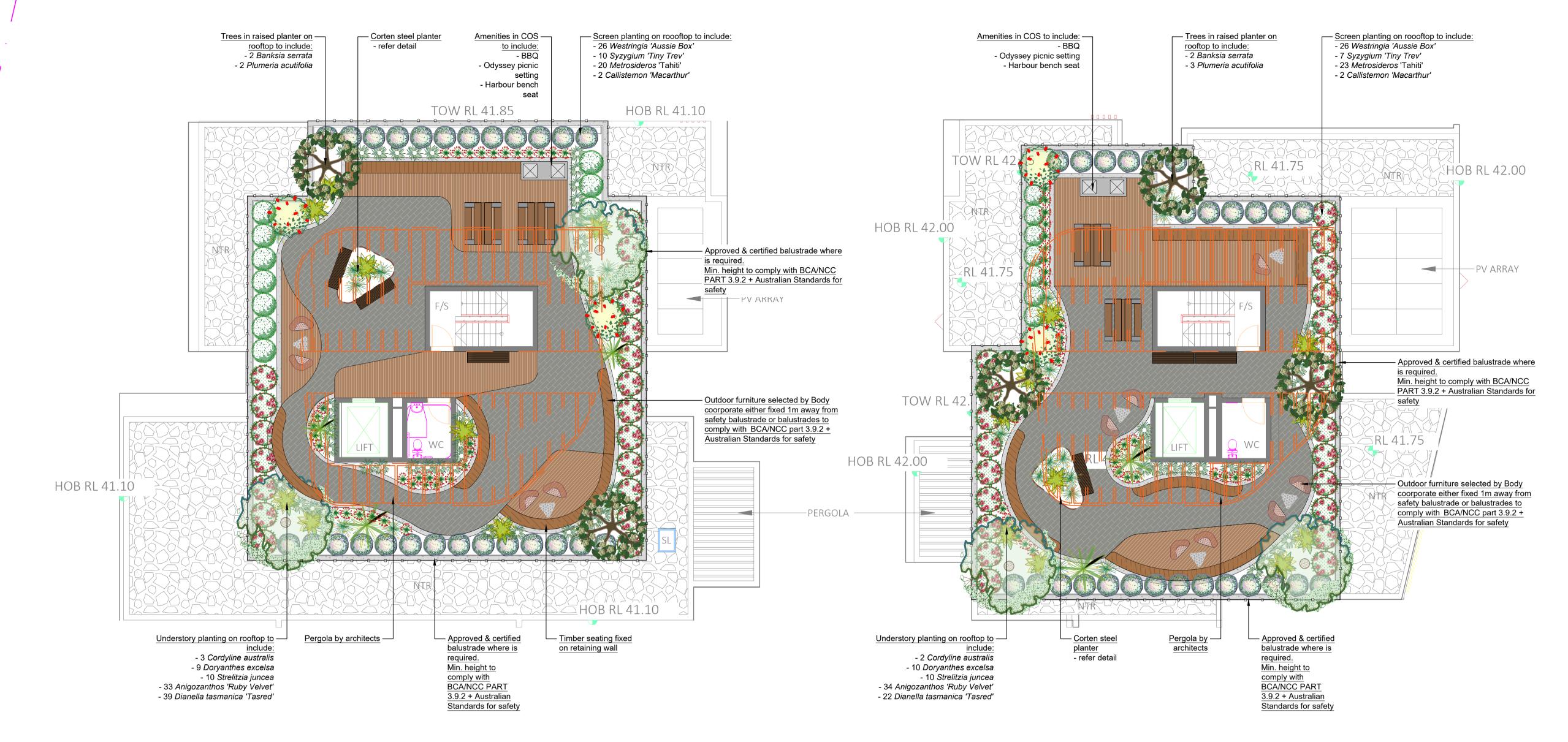
Items to consider are:

Balustrade Safety & Planters

must be 1m non-climbable

MOOREBANK

For the maintenance of large rooftop areas and planters without external balustrades, anchoring points for tying off harnesses for landscape maintenance workers are essential



SAMPLE IMAGES

Images are diagrammatic only, and final planting species may vary, as determined by Council Approval



Syzygium 'Tiny Trev'







'FOR ADVANCED TREE PLANTING IN HIGH WIND AND ROOFTOP LOCATIONS, IT IS RECOMMENDED THAT AN APPROVED ROOT BALL ANCHORING SYSTEM EQUAL TO 'PLATIPUS ANCHORS' SHALL BE USED. INSTALL AS PER THE **MANUFACTURERS** SPECIFICATION'

Communal Open Space Rooftop Terraces GENERAL NOTE

BCA & Australian Standards (AS):

Building codes and standards are established on a federal level by the nationally recognised Building Code of Australia (BCA), & these apply to all phases of construction, including balustrade design and specification. Specifically, BCA 2012 Parts 3.9.1 (stairs) and 3.9.2 (balustrades) and Australian Standard 1170.1 cover regulations for balustrades on stairways, balconies, rooftop terraces and other surfaces between levels.

BCA Balustrade Regulations and Standards

A balustrade is defined as a rail and its balusters (posts or other supporting members). BCA regulations state that a balustrade

- Be at least 1 metre high as measured from the finished floor;
- Have openings between risers or posts no greater than 125mm; and

The height regulation of 1 metre ensures the balustrade is high

enough to provide prevention against falling over the balustrade.

125mm to prevent children from falling between them. Load and

The openings between risers or posts cannot be greater than

 Be able to withstand loads and impacts as determined by AS 1170.1

planter A concern for COS areas on rooftops or terrace areas is that the strata will add loose furniture which ultimately could undermine the safety of the installed balustrades. In this case, it shall be the

impact regulations are designed to ensure balustrades can resist

BCA regulations state that the balustrade must be 1 metre or

rooftops, and the compliance with the BCA and AS's are

impact or will not collapse when pressure is applied to them from

more, higher than the finished floor. On roof-top terraces, planters

& furniture are often incorporated in the landscape design. It's

important for compliance and safety that these elements do not

undermine the safety of Communal Open Space (COS) terraces and

• Where planters form the safety balustrade, their internal face

Outdoor furniture such as tables, BBQs, and seating shall be

terrace planters which form the balustrade, then a compliant

handrail will be required to be fixed to the external edge of the

fixed and located a minimum 1m away from balustrades

Where furniture is proposed to be fixed or adjacent to COS

strata bodies responsibility to manage the safety of these areas. Ultimately, the compliance and safety of the COS areas shall be the responsibility of the builder, and carefully inspected and

certified at the Occupation Certificate (OC) stage of the

Maintenance of COS area

development

Communal Open Space terrace and rooftop areas are exposed to extremes (wind, sun, and extreme weather) so maintenance is important. The following item should be included or considered:

- All planters shall be structurally water-proofed, with this work certified and periodically inspected. Trades should be closely monitored so they do not subsequently damage completed waterproofing
- All planters shall be irrigated with an automated system set on an approved watering pattern. Moisture gauges should be installed in some planters to minimize overwatering
- **Tree Anchors** shall be installed in high wind areas to larger plants, such as palms & small trees
- Compliance for balustrades and handrails should be monitored regularly

	PLAN	SECTION 4.55		
[L6 COS]		1:100 @ A1	AUGUST 2022	
DWG.No:	PAGE NUMBER:	DRAWN:	CHECKED:	
LPS4.55 19 - 10	3	R.H	R.F	



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A 30.8.2022 Preliminary plan prepared for review
B 15.2.2022 Coordinate with SW drawings LIVERPOOL UFN GROUP

PROPOSED RESIDENTIAL DEVELOPMENT 23-29 HARVEY AVE MOOREBANK

SECTIONS SECTION 4.55 AS SHOWN @ A1 AUGUST 2022 R.F R.H LPS4.55 19 - 10

LANDSCAPE WORK SPECIFICATION

1.01 GENERAL

The following general conditions should be considered prior to the commencement of landscape works: The landscape plans should be read in conjunction with the architectural plans, project arborist's assessmen

- hydraulic plans, service plans and survey prepared for the proposed development. All services including existing drainage should be accurately located prior to the commencement of landscape
- installation. Any proposed tree planting which falls close to services will be relocated on site under the
- Installation of conduit for required irrigation, electrical and other services shall be completed prior to the
- commencement of hardscape works and hardstand pours All outdoor lighting specified by architect or client to be installed by qualified electrician
- Anomalies that occur in these plans should be brought to our immediate attention. Where an Australian Standard applies for any landscape material testing or installation technique, that standard

1.02 PROTECTION OF ADJACENT FINISHES

The Contractor shall take all precautions to prevent damage to all or any adjacent finishes by providing adequate protection to these areas / surfaces prior to the commencement of the Works

1.03 PROTECTION OF EXISTING TREES Existing trees identified to be retained shall be done in accordance with (AS)4970-Protection of trees on development sites as well as in accordance with the tree protection measures prepared by project arborist.

Where general works are occurring around such trees, or pruning is required, a qualified Arborist shall be engaged to

oversee such works and manage tree health. Existing trees designated on the drawing for retention shall be protected at all times during the construction period. Any soil within the drip-line of existing trees shall be excavated and removed by hand only. No stockpiling shall occur within

the root zone of existing trees to be retained. Any roots larger in diameter than 50mm shall only be severed under instruction by a qualified arborist. Roots smaller than

Temporary fencing shall be installed around the base of all trees to be retained prior to the commencement of landscape works. Where possible this fencing will be located around the drip line of these trees, or a minimum of 3m from the trunk. The fencing shall be maintained for the full construction period.

1.04 EROSION & POLLUTION CONTROL

50mm diameter shall be cut cleanly with a saw.

The Contractor shall take all proper precautions to prevent the erosion of soil from the subject site. The contractor shall install erosion & sediment control barriers and as required by council, and maintain these barriers throughout the construction period. Note that the sediment control measures adopted should reflect the soil type and erosion characteristics of the site.

- Erosion & pollution control measures shall incorporate the following: - Construction of a sediment trap at the vehicle access point to the subject site.
- Sediment fencing using a geotextile filter fabric in the location indicated on the erosion control plan or as instructed on site by the landscape architect.
- Earth banks to prevent scour of stockpiles - Sandbag kerb sediment traps
- Straw bale & geotextile sediment filter.
- Exposed banks shall be pegged with an approved Jute matting in preparation for mass planting

Refer to "Sitewise Reference Kit" as prepared by DLWC & WSROC (1997) for construction techniques

2.01 MATERIALS

Specified Soil Conditioner (Generally to improve site soil)

The specified soil conditioner for site top-soil improvement shall be an organic mix, equal to "Botany Humus", as supplied by ANL. Note that for sites where soil testing indicates toxins or extremes in pH, or soils that are extremely poor, allow to excavate and supply 300mm of imported soil mix.

New gardens & proposed Planting

New garden and planting areas shall consist of a 50/50 mix of clean site soil (refer d) below) and imported "Organic Garden Mix" as supplied by ANL or approved equal. All mixes are to comply with AS 4419 Soils for landscaping & garden use, & AS 4454 Composts, Soil conditioners & mulches

The specified soil mix for all turf areas shall be a min 75mm layer of imported soil mix consisting of 80% washed river sand (reasonably coarse), and 20% composted organic matter equivalent to mushroom compost or soil conditioner, or other approved lawn top dress.

Site topsoil is to be clean and free of unwanted matter such as gravel, clay lumps, grass, weeds, tree roots, sticks, rubbish and plastics, and any deleterious materials and materials toxic to plants. The topsoil must have a pH of between 5.5 and 7. Use 100% imported soil mix when site when site topsoil runs out

2.02 INSTALLATION (TO GARDEN OUTSIDE OF TREE PROTECTION ZONES OF TREES RECOMMENDED TO BY

Note: No level changes (Cut or Fill), soil ripping within the Tree Protection Zones of trees to be retained

All testing is to be conducted in accordance with AS 1289 Methods for testing soils for engineering purposes. Site soil shall be given a pH test prior to modifying to ensure conditions are appropriate for planting as stated above. Tests shall be taken in several areas where planting is proposed, and the pH shall be adjusted accordingly with sulphur or lime to suit.

Note that a soil test conducted by the "Sydney Soil Lab" or approved equal shall be prepared for all commercial, industrial and multi-unit residential sites. The successful landscape contractor shall implement the recommendations of this test.

b) Set Out of Individual Trees & Mass Planting Areas

All individual tree planting positions and areas designated for mass planting shall be set out with stakes or another form of marking, ready for inspection and approval. Locate all services.

c) Establishing Subgrade Levels outside of tree protection zones of trees to be retained

Subgrade levels are defined as the finished base levels prior to the placement of the specified material (i.e. soil conditioner). The following subgrade levels shall apply:

Mass Planting Beds - 300mm below existing levels with specified imported soil mix.

Turf areas - 100mm below finished surface level. Note that all subgrades shall consist of a relatively free draining natural material, consisting of site topsoil placed previously by the Civil Contractor. No builders waste material shall be acceptable.

d) Subgrade Cultivation

Cultivate all subgrades to a minimum depth of 100mm in all planting beds and all turf areas, ensuring a thorough breakup of the subgrade into a reasonably coarse tilth. Grade subgrades to provide falls to surface and subsurface drains, prior to

the placement of the final specified soil mix.

e) Drainage Works Install surface and subsurface drainage where required and as detailed on the drawing. Drain subsurface drains to outlets

provided, with a minimum fall of 1:100 to outlets and / or service pits.

f) Placement and Preparation of Specified Soil Conditioner & Mixes. Trees in turf & beds - Holes shall be twice as wide as root ball and minimum 100mm deeper - backfill hole with 50/50 mix of clean site soil and imported "Organic Garden Mix" as supplied by ANL or approved equal.

Mass Planting Beds - Install specified soil conditioner to a compacted depth of 100mm Place the specified soil conditioner to the required compacted depth and use a rotary hoe to thoroughly mix the conditioner into the top 300mm of garden bed soil. Ensure thorough mixing and the preparation of a reasonably fine tilth and good growing medium in preparation for planting.

 Turf Areas - Install specified soil mix to a minimum compacted depth of 75mm. Place the specified soil mix to the required compacted depth and grade to required finished soil levels, in preparation for

PLANTING

3.01 MATERIALS

All trees supplied above a 25L container size must be grown and planted in accordance with AS 2303:2018 'TREE STOCK FOR LANDSCAPE USE' Certification that trees have been grown to AS 2303:2018 is to be provided upon request of Council's Tree Management Officer.

Above - Ground Assessment:

The following plant quality assessment criteria should be followed: Plant true to type, Good vigour and health, free from pest & disease, free from injury, self-supporting, good stem taper, has been pruned correctly, is apically dominant, has even crown symmetry, free from included bark & stem junctions, even trunk position in pot, good stem structure

Below - Ground Assessment: Good root division & direction, rootball occupancy, rootball depth, height of crown, non-suckering For further explanation

and description of these assessment criteria, refer to Ross Clark's book. All Plant material shall be to the type and size specified. No substitutions of plant material shall be permitted without

written prior approval by the Landscape Architect. No plant shall be accepted which does not conform to the standards

b) Stakes and Ties

Provide min. 3 No. Stakes and ties to all plants identified as trees in the plant schedule. Stakes shall be sound, unpainted, straight hardwood, free of knots and pointed at one end. They shall be 1800mm x 50mm x 50mm Hardwood timber, or as per council specification where is available. Ties shall be 50mm wide hessian webbing material.

Fertilisers shall be approved slow release fertilisers suitable for the proposed planting types. Note that for native plants

withdraw this information from the assessment proces

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for construction purposes. (ABN: 75 623 405 630)
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Mulch for general planter bed shall be an approved equal to "Forest Blend" as supplied by ANL. Mulch shall be completely free from any soil, weeds, rubbish or other debris. Mulch for bio-retention/rain garden area where is required shall be non-floatable materials that could include crushed rock, gravel, coarse river sand, scoria or river pebbles. 4-7mm

screenings or similar.

Turf for project site shall be soft leaf Buffalo or Zoysia macrantha 'Nana' or equivalent unless stated otherwise), free from any weeds and other grasses, and be in a healthy growing condition. Re-turfing to nature strip where is required shall use

3.02 INSTALLATION

species that match existing on street.

a) Setting Out

All planting set out shall be in strict accordance with the drawings, or as directed. Note that proposed tree planting located near services should be adjusted at this stage. Notify Landscape Architect for inspection for approval prior to planting.

All plant material shall be planted as soon after delivery as possible. Planting holes for trees shall be excavated as detailed and specified. Plant containers shall be removed and discarded, and the outer roots gently teased from the soil mass. Immediately set plant in hole and backfill with specified soil mix, incorporating the approved quantity of fertiliser for each plant type. Ensure that plants are set plumb vertically and root balls set to the consolidated finished grades detailed on the drawings. Compact the backfilled soil and saturate by hand watering to expel any remaining air pockets immediately after planting.

c) Staking and Tying

Staking and tying shall be in strict accordance with the drawings and shall occur immediately following plant placement and soil backfilling. All plants identified as "Trees" on the planting schedule shall be staked with a min. 3 stakes.

Mulch for general planter bed shall be an approved equal to "Forest Blend" as supplied by ANL. Mulch shall be completely free from any soil, weeds, rubbish or other debris. Mulch for bio-retention/rain garden area where is required shall be non-floatable materials that could include crushed rock, gravel, scoria or river pebbles. 4-7mm screenings or similar.

Moisten soil prior to the turf being laid. Turf shall be neatly butt jointed and true to grade to finish flush with adjacent surfaces. Incorporate a lawn fertilizer and thoroughly water in. Keep turf moist until roots have taken and sods/rolls cannot be lifted. Keep all traffic off turf until this has occurred. Allow for top dressing of all turf areas. All turf shall be rolled

immediately following installation

Where is required, the Contractor shall install steel garden edging as detailed on the drawings, to all mass planting beds adjoining turf or gravel mulched areas, and where required. The resultant edge shall be true to line and flush with adjacent surfaces. However, no edging shall be used within the Structural Root Zone (SRZ) of trees to be retained.

All walls which form part of drainage works must be built as detailed by the hydraulic engineer. All walls exceeding 800mm shall be of not timber construction materials, construction details to be provided by a qualified engineer. Install wall to suit site levels and to manufacture's specification.

HARDSCAPE WORKS 4.01 GENERAL

The Contractor shall undertake the installation of all hardscape works as detailed on the drawing, or where not detailed, by

manufacturers specification. Paving - refer to typical details provided, and applicable Australian Standards. Permeable paving may be used as a suitable means of satisfying Council permeable surface requirements, while providing a useable, hardwearing, practical surface. In most instances, the client shall nominate the appropriate paving material to

be used. Australian Standards shall be adhered to in relation to all concrete, masonry & metal work. Some details are typical and may vary on site. All hardscape works shall be setout as per the drawings, and inspected and approved by the Landscape Architect prior to installation. All workmanship shall be of the highest standard. Any queries or problems that arise from hardscape variations should be bought to the attention of the Landscape Architect.

Your attention is directed to any obligations or responsibilities under the Dividing Fences Act, 1991 in respect of adjoining property owner/s which may arise from this application. Any enquiries in this regard may be made to the Crown Lands Division on (02) 8836 5332

IRRIGATION WORKS

5.01 GENERAL (PERFORMANCE SPECIFICATION)

New irrigation systems to planting areas shall be a Commercial Grade Irrigation System conforming to all relevant Australian standards, including AS 3500 & the Electrical Safety Act 2002, Workplace Health & Safety Act 2011, & the latest Sydney Water Code

An automated drip-irrigation system is to be installed to all gardens, planters and lawn areas in accordance with the approved Irrigation Design. This system shall be designed and installed by a qualified and licensed irrigation specialist, to the highest industry

standards and to maximise the efficient usage of water. The Installer is required to obtain all approvals necessary for the completion of works in accordance with the Laws of Australia, Laws of the State of NSW, LIVERPOOL Council By-Laws and Ordinances.

- The Landscape Contractor nominated Licensed Irrigation Specialist shall provide irrigation drawings for approval upon

Design Requirements:

- The irrigation system shall be installed prior to all planting works. It shall incorporate a commercially available irrigation system, with sub-surface dripper lines to irrigate all gardens, planters and lawn areas. - It shall incorporate a suitable back flow prevention device for the scale of works, an in-line filter, check valves, and suitable high and low density poly hose fittings and PVC piping to achieve flow rates suitable for specified planting. - The irrigation application rate shall not exceed the infiltration rate of the soil or creates run-off. - The landscape contractor shall check the existing pressure available from the ring mains and size irrigation piping to suit

Supply shall be from local hose cock where available - All piping and fittings shall be buried 50mm below the finished soil levels in garden and lawn areas, and secured in position at 500mm centres with galv wire pins.

- Size of pipes shall be selected to ensure the working pressure at the end of the line does not decrease by more than 5%.

Services Co-ordination:

- Co-ordination required by Landscape Contractor or Project Manager to provide required conduit, pipe work and penetration through slabs and planter walls for water and power provisions - The Landscape Contractor shall be engaged with the Irrigation Specialist to co-ordinate with the Project Manager to identify the preferred service and conduit locations

- Project Manager and Landscape Contractor to establish area suitable for irrigation control system with required area, power provision and water supply.

Upon completion of installation, the system shall be tested, including: - Main Line Pressure Test: The main line is pressurised to test for leaks. All valves are shut and the pressure is taken over

a determined length of time. - Dripper Pressure Test: Measurement at flushing valves are taken and the pressure gauged to make sure it conforms to the manufacturer recommendations. The inlet pressure is then tested under the same conditions to check it does not

- All components are to be satisfactorily functional and operational prior to approval. Should any defect develop, or the capacity or efficiency of the system decline during the agreed maintenance system, then these faults shall be immediately

- A full 12 month warranty shall be included to cover labour and all parts.

- On request, a detailed irrigation performance specification report can be issued. CONSOLIDATION AND MAINTENANCE

6.01 GENERAL

Further Documentation:

The consolidation and maintenance period shall be either

6 months beginning from the approved completion of the specified construction work (Practical Completion) as agreed to in the landscape contractors contractual obligations. or as specified by Council in the Determination.

A qualified landscape maintenance contractor shall undertake the required landscape maintenance works. Consolidation and maintenance shall mean the care and maintenance of Contracted works by accepted landscaping or horticultural practices, ensuring that all plants are in optimum growing conditions and appearance at all times, as well as rectifying any defects that become apparent in the contracted works.

This shall include, but not be limited to, the following items where and as required:

 Watering all planting and lawn areas / irrigation maintenance. Clearing litter and other debris from landscaped areas. • Removing weeds, pruning and general plant maintenance.

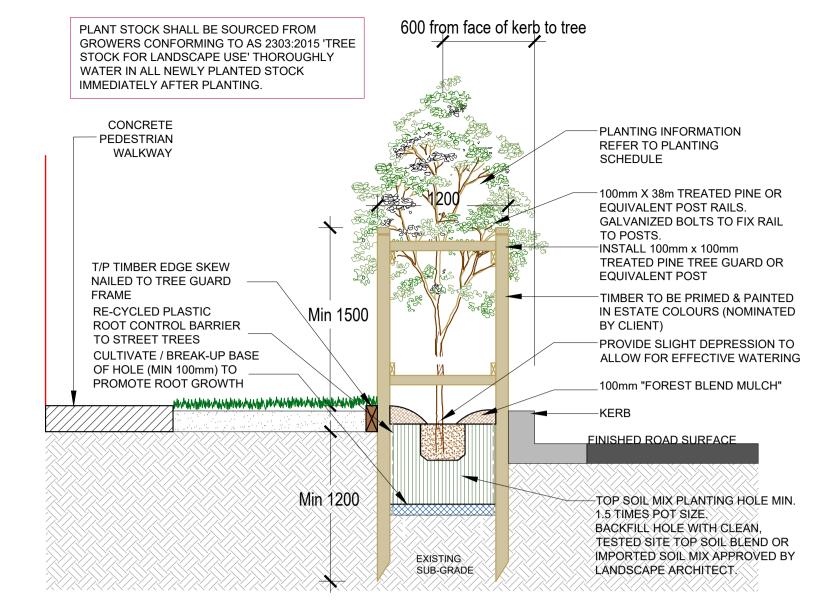
 Replacement of damaged, stolen or unhealthy plants. • Make good areas of soil subsidence or erosion. Topping up of mulched areas. Spray / treatment for Insect and disease control.

 Fertilizing with approved fertilizers at correct rates. Mowing lawns & trimming edges each 14 days in summer or 18 days in winter Adjusting ties to Stakes Maintenance of all paving, retaining and hardscape elements.

On the completion of the maintenance period, the landscape works shall be inspected and at the satisfaction of the superintendent or landscape architect, the responsibility will be signed over to the client.

specifically Proteaceae family plants including Grevillea species, low phosphorus fertilizers shall be used

TIMBER GARDEN-**EDGING-REFER DETAIL** - 1200 INSTALL 100mm x 100mm TREATED PINE TREE GUARD OR EQUIVALENT POST PROVIDE 2 HARDWOOD -STAKES 1.8m X 50mm X 50mm FOR ALL TREES. USE 50mm HESSIAN TIES TO SUPPORT TREE 100mm "FOREST BLEND" MULCH"



TREE GUARD PLAN

1. CHAIN WIRE MESH PANELS WITH SHADE CLOTH (IF REQUIRED) ATTACHED, HELD IN PLACE WITH CONCRETE FEET

2. ALTERNATIVE PLYWOOD OR WOODEN PALING FENCE PANELS. THE FENCING MATERIAL ALSO PREVENTS BUILDING MATERIALS OR SOIL ENTERING THE TPZ 3. MULCH INSTALLATION ACROSS

SURFACE OF TPZ (AT THE DISCRETION OF THE PROJECT ARBORIST), NO EXCAVATION, CONSTRUCTION ACTIVITY, GRADE CHANGES, SURFACE TREATMENT OR STORAGE OF MATERIALS OF ANY KIND IS PERMITTED WITHIN THE TPZ

THE TPZ. INSTALLATION OF SUPPORTS TO AVOID DAMAGING ROOTS 5. PRUNING & MAINTENANCE TO TREE REFER TO AS 4373-2007 PRUNING OF **AMENITY TREES**

SOFT LEAF BUFFALO

"SIR WALTER" OR SIMILAR

80: 20 TOP DRESS SOIL MIX

SAND : ORGANIC MATTER

LAY TURF ON MINIMUM 100mm-

CULTIVATE SUBSOIL TO 100mm

DRAINAGE

100MM AG LINE IN BLUE METAL-

TRENCH TO CONNECT TO SITE

4. BRACING IS PERMISSIBLE WITHIN

PROVIDE FENCING AS DETAILED TO ALL TREES PROPOSED TO BE RETAINED ON THE SUBJECT SITE. FENCING TO BE LOCATED TO THE DRIP LINE OF TREES OR AS INDICATED ON PLANS OR DIRECTED ON-SITE BY ARBORIST. NO STOCKPILING WITHIN FENCE PERIMETERS. TREE PROTECTION ZONE

AT JUNCTIONS FIX 150

JOIN, FIX WITH BOLTS

□100 X 5 MM PLATE

TO PLATE

75 LENGTH PIPE WELDED

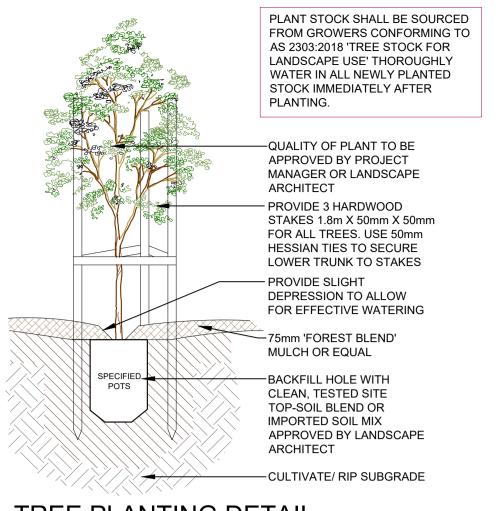
450 LENGTH R10 BAR

SCALE: 1:10

DRIVEN INTO GROUND

LENGTH PLATE ACROSS

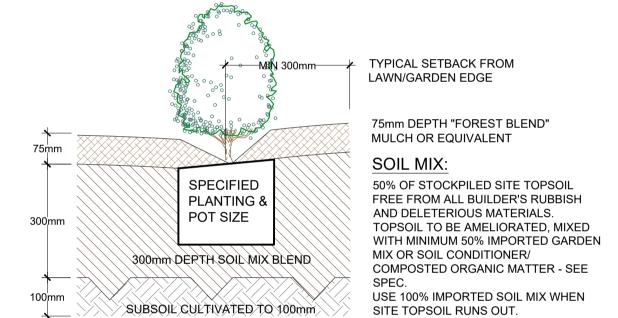
STREET TREE PLANTING & TREE GUARD



TREE PLANTING DETAIL

TREES TO BE RETAINED ON SITE)

(ONLY APPLICABLE FOR PLANTING AREA OUTSIDE TREE PROTECTION ZONE OF TREES TO BE RETAINED. NO CHANGES ARE TO OCCUR TO EXISTING LEVELS, INCLUDING RIPPING/CULTIVATING OF THE SOIL WITHIN THE TPZ OF



TYPICAL GARDEN PREPARATION DETAIL

REFER GARDEN

PREP DETAIL

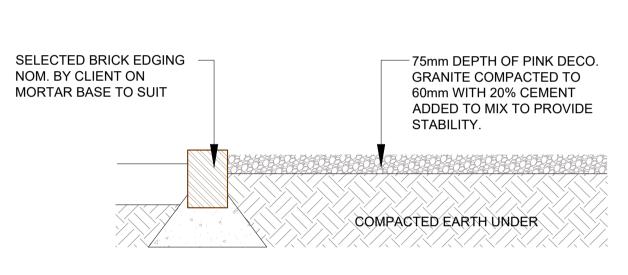
NOTE: TURF AREAS TO FINISH FLUSH

(EXCEPT GARDEN BEDS). ROLL AND

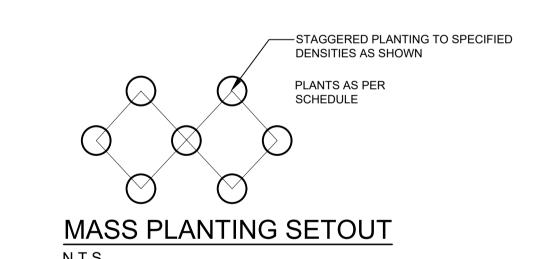
WATER IMMEDIATELY AFTER LAYING.

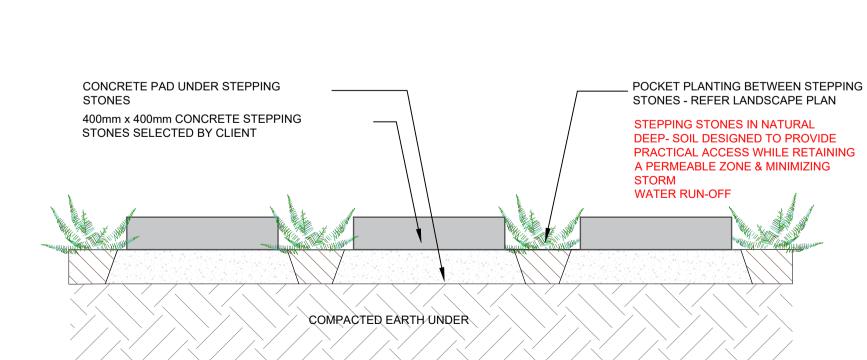
WITH SURROUNDING SURFACE FINISHES

SCALE 1:10 (ONLY APPLICABLE FOR PLANTING AREA OUTSIDE TREE PROTECTION ZONE OF TREES TO BE RETAINED. NO CHANGES ARE TO OCCUR TO EXISTING LEVELS. INCLUDING RIPPING/CULTIVATING OF THE SOIL WITHIN THE TPZ OF TREES TO BE RETAINED ON SITE)



COMPACTED DECO GRANITE DETAIL





STEPPING STONES IN GROUNDCOVER PLANTING

DICKSON ROTHSCHILD

STEEL EDGE DETAIL

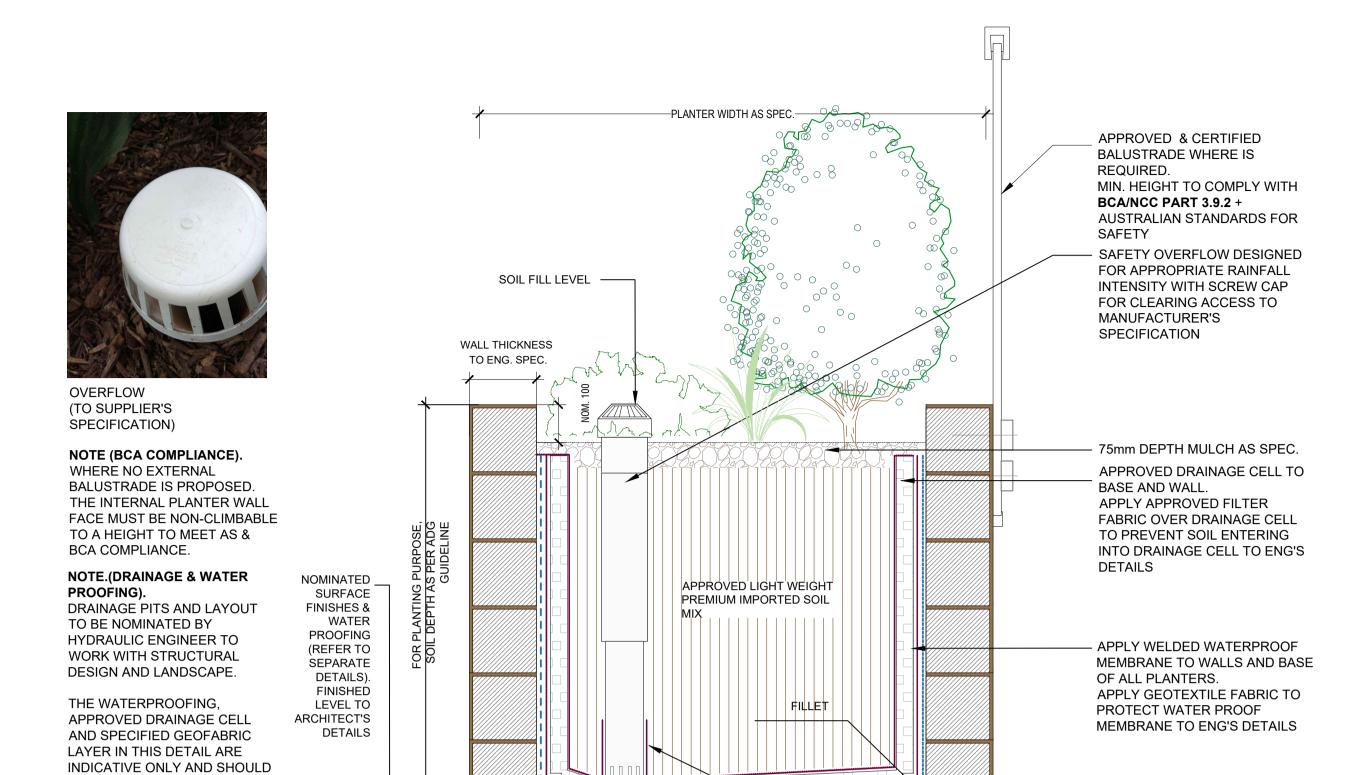
LIVERPOOL UFN GROUP

REV DATE NOTATION/AMENDMENT A 30.8.2022 Preliminary plan prepared for review B 15.2.2022 Coordinate with SW drawings C 26.08.2022 Coordinate with amended architectural plan & council's comments

PROPOSED RESIDENTIAL DEVELOPMENT 23-29 HARVEY AVE MOOREBANK

SCALE 1:10

SPECIFICATION & SECTION 4.55 DETAILS AS SHOWN @ A1 **AUGUST 2022** R.F R.H LPS4.55 19 - 10



SLAB BY CIVIL

BY OTHERS.

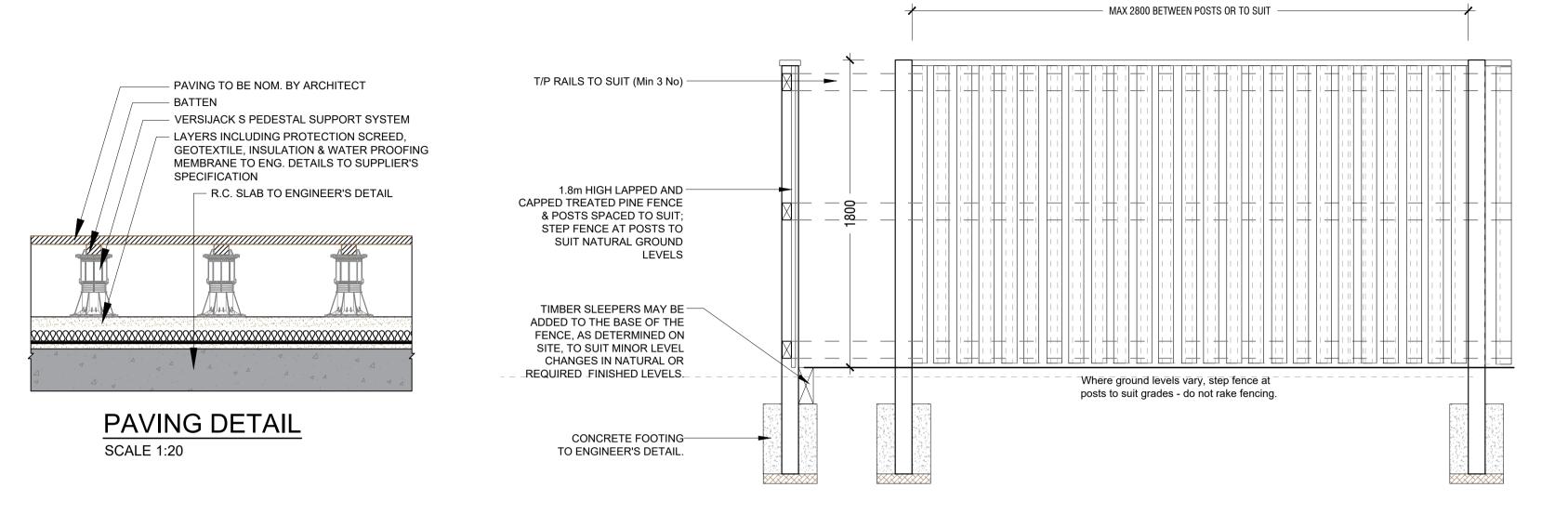
TYPICAL MASONRY PLANTER ON SLAB DETAIL

CONTRACTOR DETAILED

SCALE: 1:10

NOTE: TYPICAL DETAIL ONLY. ALL WALLS WHICH FORM PART OF DRAINAGE

WORKS MUST BE BUILT AS DETAILED BY THE HYDRAULIC ENGINEER. ALL

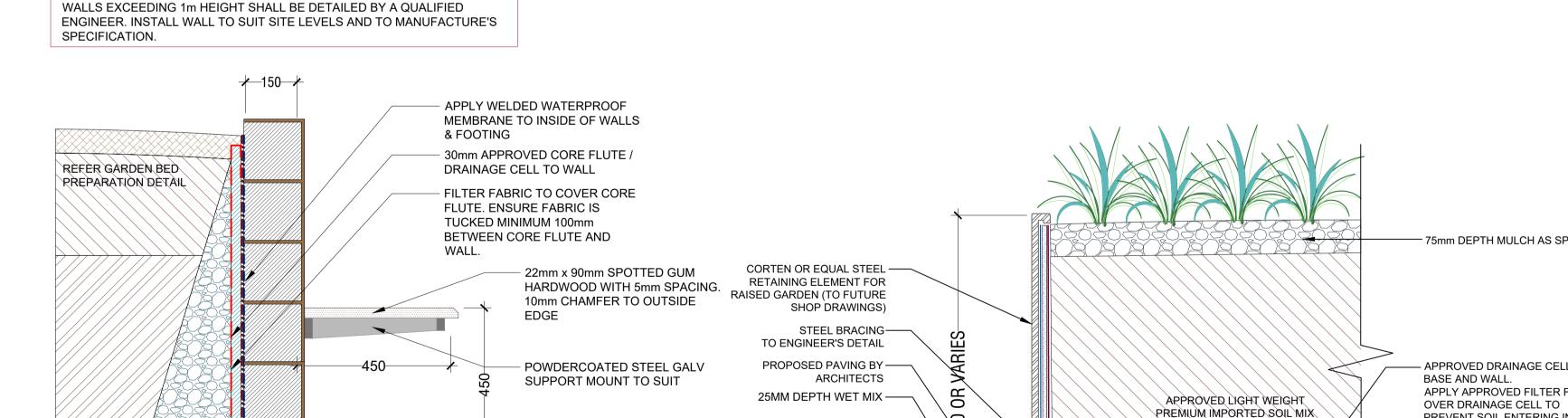


1.8m BOUNDARY LAPPED AND CAPPED T/P TIMBER FENCING SCALE: 1:20

1.2M HIGH TUBULAR ALUMINIUM

PALLISADE FENCE WITH 50MM SQUARE

75mm DEPTH MULCH AS SPEC. – APPROVED DRAINAGE CELL TO APPLY APPROVED FILTER FABRIC PREVENT SOIL ENTERING INTO DRAINAGE CELL TO ENG'S DETAILS - APPLY WELDED WATERPROOF MEMBRANE TO WALLS AND BASE APPLY GEOTEXTILE FABRIC TO PROTECT WATER PROOF MEMBRANE TO ENG'S DETAILS CEMENT SCREED TO BASE OF ALL PLANTERS TO PROVIDE MIN. 2% FALL TO DRAINAGE POINTS REFER TO HYDRAULIC ENG'S DETAILS



EXISTING WATERPROOF -

MEMBRANE TO BE MADE

GOOD AFTER ALL WORK

MASONRY RETAINING WALL DETAIL

FOOTING TO

ENG. DETAIL

TYPICAL CORTEN STEEL PLANTER SCALE: 1:10

EXISTING SLAB

1900

1.8m PALISADE COURTYARD FENCE SCALE: 1:20

DEVELOPMENT

23-29 HARVEY AVE

MOOREBANK

CEMENT SCREED TO BASE OF

ALL PLANTERS TO PROVIDE MIN.

GEO-FILTER FABRIC TURNED UP

AND SECURED TO RISER ABOVE

2% FALL TO DRAINAGE POINTS

REFER TO HYDRAULIC ENG'S

DRAINAGE OPENING

DETAILS

Suit 101, 506 Miller Street, CAMMERAY NSW 2062 Fax: 8209 4982 Mob: 0413 861 351 enquiries@conzept.net.au

REV DATE NOTATION/AMENDMENT A 30.8.2022 Preliminary plan prepared for review LIVERPOOL B 15.2.2022 Coordinate with SW drawings C 26.08.2022 Coordinate with amended architectural plan & council's comments **UFN GROUP**

OF ALL PLANTERS.

DETAILS PROPOSED RESIDENTIAL SECTION 4.55 AS SHOWN @ A1 AUGUST 2022 R.F LPS4.55 19 - 10 R.H

600MM HIGH BRICK WALL- FACE BRICK

FINISH TO MATCH PROPOSED

DWELLING

75MM HEX HEAD SCREWS USED TO

ATTACH TO GARDEN WALL

Figured dimensions take preference to scale readings. Verify all dimensions on site. PDF'd plans may vary slightly in Scale for that indicated on plans. Report any whether special, consequential, direct or indirect, suffered by discrepancies to the Landscape Architect before proceeding with the work.

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SCALE 1:10

written permission of the copyright owner.

to change, alteration or amendment at the discretion of our office.

BE DETAILED BY THE RELEVANT PROFESSIONAL

UNDER THE CONSTRUCTION

WATER-PROOFING SHALL BE

ENGINEER 'FOR

STRUCTURAL

CONSTRUCTION'.

PRACTITIONER BILL,

DOCUMENTED BY A

HYDRAULIC ENGINEER

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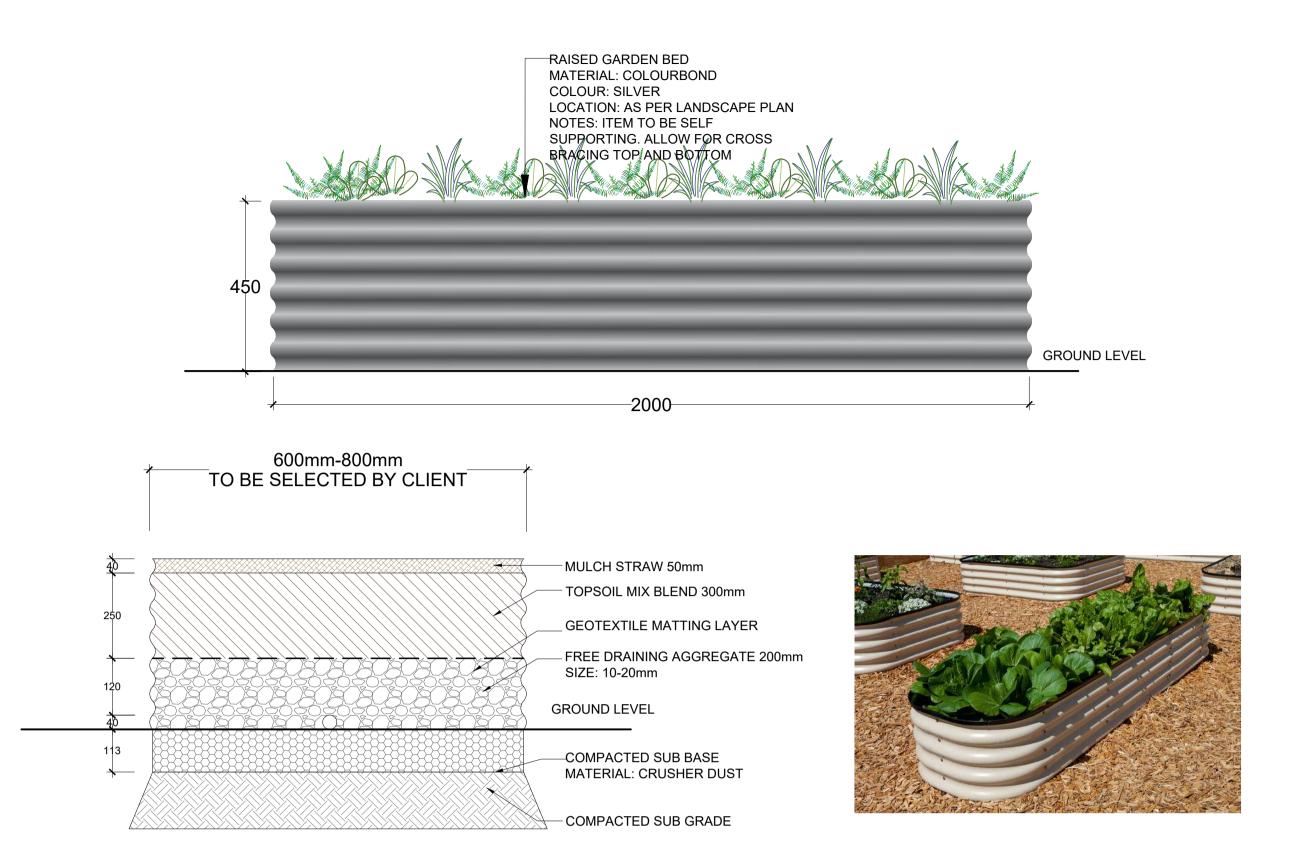
payments are not made following the notification period. AILA Associate

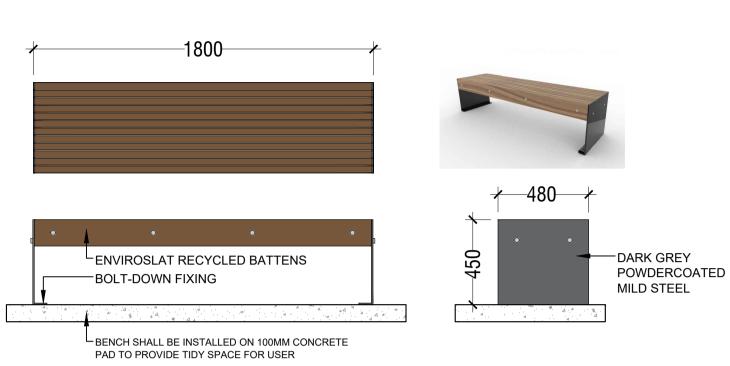
ADJACENT SURFACE

INSTALL 100mm AG, LINE TO

BASE OF BLUE METAL TRENCH

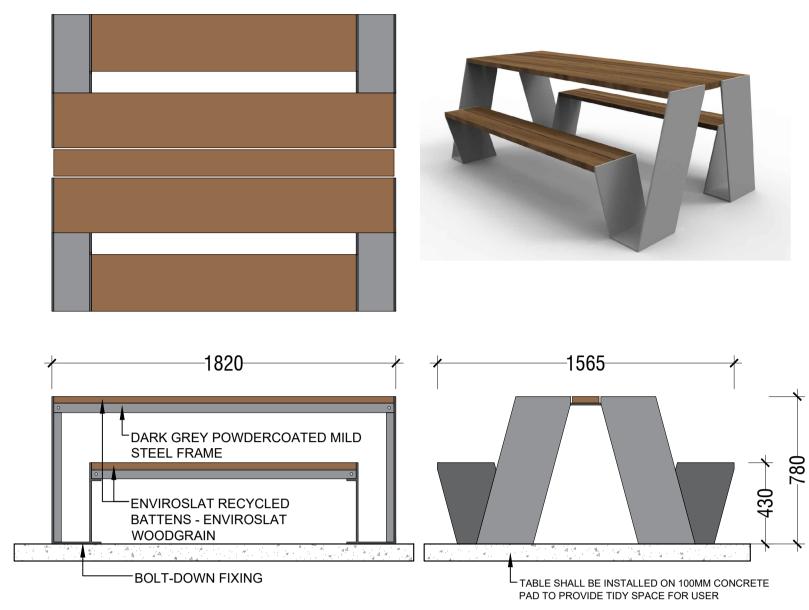
DICKSON ROTHSCHILD





NOTE: DRAWING IS INDICATIVE ONLY. PRODUCT BY COMMERCIAL SYSTEMS AUSTRALIA. REFER

MANUFACTURER'S SPECIFICATIONS & INSTRUCTIONS FOR INSTALLATION



NOTE: DRAWING IS INDICATIVE ONLY. PRODUCT BY COMMERCIAL SYSTEMS AUSTRALIA. REFER MANUFACTURER'S SPECIFICATIONS & INSTRUCTIONS FOR INSTALLATION

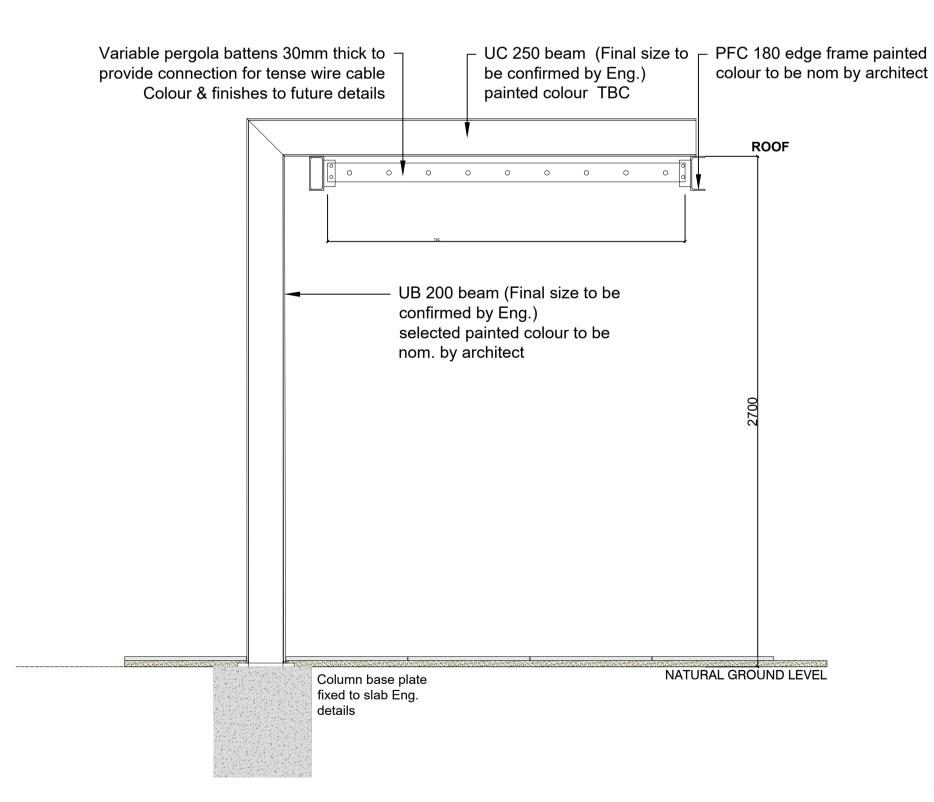
RAISED COMMUNITY GARDEN BED

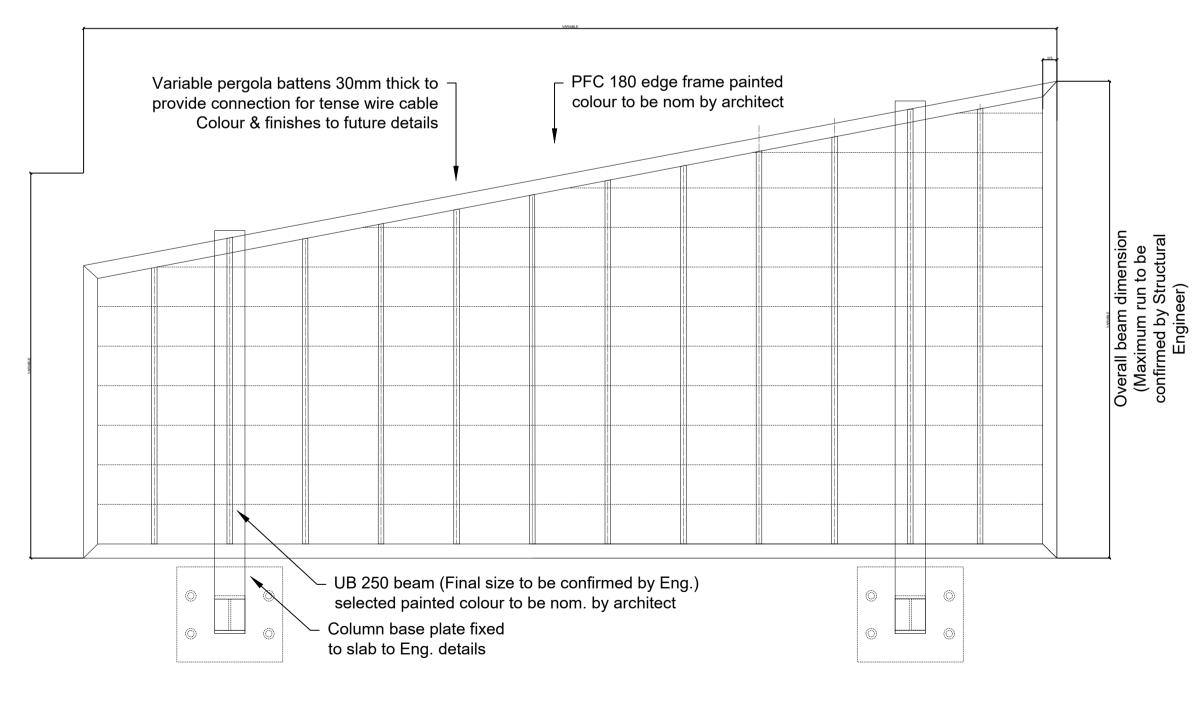
SCALE: 1:10

ARBOUR BENCH SEAT BY CSA - PRODUCT CODE: TM4531 OR SIMILAR

SCALE 1:20

ODYSSEY PICNIC SETTING BY CSA - PRODUCT CODE: TM4170 OR SIMILAR SCALE 1:20





TYPICAL PEGOLA DETAIL SCALE 1:20

GENERAL NOTE: Figured dimensions take preference to scale readings. Verify all dimensions on site. PDFd plans may vary slightly in Scale for that indicated on plans. Report any discrepancies to the Landscape Architect before proceeding with the work.

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If the Status of this drawing is not signed off For Construction it may be subject to change, alteration or amendment at the discretion of our office.

If so, Conzept is not liable for any loss, damage, harm or injury whether special, consequential, direct or indirect, suffered by you or any other person as a result of your use of this drawing for construction purposes.

Sulphurcrest Enterprises (T/A Conzept) until such time as all agreed payments are made in full. We retain the right to withdraw this information from the assessment process if such payments are not made following the notification period.

AllA Associate to change, alteration or amendment at the discretion of our office.





COUNCIL	REV	DATE	NOTATION/AMENDMENT	PROJECT:
LIVERPOOL	Α	30.8.2022	Preliminary plan prepared for review	PROPO
	В	15.2.2022	Coordinate with SW drawings	
				DEVELO
CLIENT				
UFN GROUP				23-29 HAF
				MOORE
				IVIOOINE

		STATUS:			
POSED RESIDENTIAL	DETAILS		SECTION 4.55		
LOPMENT			SCALE:	DATE:	
LOI WILIVI			AS SHOWN @ A1	AUGUST 2022	
HARVEY AVE			0		
	DWG.No:	PAGE NUMBER:	DRAWN:	CHECKED:	
REBANK	LPS4.55 19 - 10	7	R.H	R.F	



28 February 2022

The General Manager Liverpool City Council 33 Moore Street, Liverpool, NSW 2170

Design Verification Statement

· 0 10

RE: Section 4.55_ Residential Development _ 23-29 Harvey Avenue, Moorebank (DA 627/2018)

I, the undersigned, do hereby verify that as a registered architect and qualified designer, I have directed the modification of the residential Apartment development at the above address is substantially the same with the approved development (DA 627/2018) and nine (9) design quality principles prepared by Pagono Architects and GAT Associates in the SEPP 65 Design Verification Statement – 23-29 Harvey Ave Moorebank in accordance with Schedule 1 of the State Environmental Planning Policy No.65 – Design Quality of Residential Apartment Development is remained in this modification.

My My		
		28/02/2021

Robert Nigel Dickson Date



LOKA CONSULTING ENGINEERS

OFFICE: SUITE 2, 55-59 PARRAMATTA ROAD, LIDCOMBE NSW 2141

PHONE: 02 8065 9689 FAX: 02 8065 9690

MOBILE: 0404 142 063 EMAIL: info@lceng.com.au Web:www.lceng.com.au

Job Number: 18NL157-T7 Date: 9th February, 2022

Traffic Management Report for

23-29 Harvey Avenue, Moorebank, NSW

Prepared by

LOKA CONSULTING ENGINEERS PTY LTD

Nermein Loka

BSC, ME, MIE(AUST), CPEng, NPER, RPEQ

Senior Civil Engineer

Accredited Certifier

Director



LOKA CONSULTING ENGINEERS PTY LTD

OFFICE: 14A, 8 AVENUE OF THE AMERICAS, NEWINGTON, NSW 2127

PHONE: 02 8065 9689 FAX: 02 8065 9690

MOBILE: 0404 142 063 EMAIL: info@Lceng.com.au WEB: www.Lceng.com.au

Job Number: 18NL157-WMP7 Date: 9th February, 2022

Waste Management Plan for

23-29 Harvey Avenue, Moorebank NSW

Prepared by

LOKA CONSULTING ENGINEERS PTY LTD

Nermein Loka

BSC, ME, MIE (AUST), CPEng, NPER, RPEQ, APEC, IPEA

Senior Civil Engineer

Accredited Certifier

Director



Building Sustainability Index www.basix.nsw.gov.au

Multi Dwelling

Certificate number: 944928M_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

This certificate is a revision of certificate number 944928M lodged with the consent authority or certifier on 14 August 2018 with application DA-627/2018.

It is the responsibility of the applicant to verify with the consent authority that the original, or any revised certificate, complies with the requirements of Schedule 1 Clause 2A, 4A or 6A of the Environmental Planning and Assessment Regulation 2000

Secretary

BASIX

Date of issue: Thursday, 17 February 2022

To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary			
Project name	23-29 Harvey Ave Moorebank Residenti_02		
Street address	23 Harvey Avenue Moorebank 2170		
Local Government Area	Liverpool City Council		
Plan type and plan number	deposited 236405		
Lot no.	25-28		
Section no.	-		
No. of residential flat buildings	1		
No. of units in residential flat buildings	58		
No. of multi-dwelling houses	0		
No. of single dwelling houses	0		
Project score			
Water	√ 40 Target 40		
Thermal Comfort	✓ Pass Target Pass		
Energy	✓ 28 Target 25		

Certificate	Prepared	by
-------------	----------	----

Name / Company Name: Loka Consulting Engineers PTY LTD

ABN (if applicable): 16600535457

Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINIA_3_19_1 Certificate No.: 944928M_02 Thursday, 17 February 2022 page 1/17

Nationwide House Energy Rating Scheme NatHERS Certificate No. 0KNX59SBY2

Generated on 17 Feb 2022 using FirstRate5: 5.3.2a (3.21)

Property

UNIT 2.05, 23-29 HARVEY AVE, MOOREBANK, NSW, 2170 **Address**

Lot/DP 25-28/236405

NCC Class* Class 2

Type **New Home**

Plans

Main plan E/08022022

Prepared by

NATIONWIDE

ENERGY RATING SCHEME

47.3 MJ/m²

Predicted annual energy load for heating and cooling based on standard

occupancy assumptions.

For more information on your dwelling's rating see: www.nathers.gov.au

Thermal performance Heating Cooling

6.7 40.6

MJ/m² MJ/m²

About the rating

NatHERS software models the expected thermal energy loads using information about the design and construction, climate and common patterns of household use. The software does not take into account appliances, apart from the airflow impacts from ceiling

Verification

To verify this certificate, scan the QR code or visit https://www.fr5.com.au /QRCodeLanding?PublicId= 0KNX59SBY2 When using either link, ensure you are visiting www.FR5.com.au.



Construction and environment

Assessed floor area (m2)* **Exposure type** Conditioned* suburban 79.8

NatHERS climate zone Unconditioned* 0.9

28 Richmond Total 80.7

Garage

ccredited assessor

Name Nermein Loka

Business name Loka Consulting Engineers

Email info@lceng.com.au

Phone 80659689 Accreditation No. 101399

Assessor Accrediting Organisation

ABSA

Declaration of interest Declaration completed: no conflicts

National Construction Code (NCC) requirements

The NCC's requirements for NatHERS-rated houses are detailed in 3.12.0(a)(i) and 3.12.5 of the NCC Volume Two. For apartments the requirements are detailed in J0.2 and J5 to J8 of the NCC Volume One.

In NCC 2019, these requirements include minimum star ratings and separate heating and cooling load limits that need to be met by buildings and apartments through the NatHERS assessment. Requirements additional to the NatHERS assessment that must also be satisfied include, but are not limited to: insulation installation methods, thermal breaks, building sealing, water heating and pumping, and artificial lighting requirements. The NCC and NatHERS Heating and Cooling Load Limits (Australian Building Codes Board Standard) are available at www.abcb.gov.au.

State and territory variations and additions to the NCC may also apply.

* Refer to glossary. Page 1 of 7

Nationwide House Energy Rating Scheme — Class 2 summary NatHERS Certificate No. S3XNDIBG3T

Generated on 17 Feb 2022 using FirstRate5 v5.3.2a

Property

Address 23-29 harvey avenue, moorebank, NSW,

2170

Lot/DP

NatHERS climate zone

Accredited assessor



Nermein Loka

Loka Consulting Engineers

info@lceng.com.au

80659689

Accreditation No. 101399

Assessor Accrediting Organisation ABSA





4"■ Verification

To verify this certificate, scan the QR code or visit

https://www.fr5.com.au/QRCodeLanding?PublicId=S3XNDIBG3T&GrpCert=1 When using either link, ensure you are visiting www.fr5.com.au.

Summary of all dwellings

Certificate number and link	Unit number	Heating load (MJ/m²/p.a.)	Cooling load (MJ/m²/p.a.)	Total load (MJ/m²/p.a.)	Star rating
YRL18UV1Y3	UNIT 1.01	31.9	35.7	67.6	6.9
ZVP688E9MH	UNIT 1.02	23.5	58.5	82	6.3
POXV0YPKY2	UNIT 1.03	52.6	57.4	110	5.1
XQ3MXKF9TB	UNIT 1.04	42	23.7	65.7	7 7
3K20IW9V9T	UNIT 1.05	6	36.1	42.1	8.1
D6F68K30BK	UNIT 1.06	59.7	54.5	114.2	4.9
FLD5GI2DJY	UNIT 1.07	59.5	53	112.5	4.9

Continued over

National Construction Code (NCC) requirements

The NCC's requirements for NatHERS-rated houses are detailed in 3.12.0(a)(i) and 3.12.5 of the NCC Volume Two. For apartments the requirements are detailed in J0.2 and J5 to J8 of the NCC Volume One.

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State and territory variations and additions to the NCC may also apply.

Document Control Job No: 222004

Principal Author:				
Michael Moutrie				
Reviewed:				
Howard Moutrie				

Issue.	Revision	Date
-	Original for DA issued	16-02-2022



Statement of Compliance Access for People with a Disability

Proposed Residential Development

23-29 Harvey Ave Moorebank

Accessible Building Solutions 124 Upper Washington Drive Bonnet Bay NSW 2226

P (office) 0415 255 163 P (Howard) 0414 876 539 P (Michael) 0450 334 995 E michael@absaccess.com.au





BCA Assessment Report

23-29 Harvey Avenue, Moorebank



Project: 23-29 Harvey Avenue, Moorebank

Reference No: 114218-BCA-r1

Date: 28 January 2022

Client: D.R Design (NSW) Pty Ltd

Client Contact: Stacy Zhang

Email: szhang@dicksonrothschild.com.au

BCA Logic Contact: Jarryd Beckman

Direct: 8484 4094

Email: jbeckman@bcalogic.com.au